

68 ASHBY AVENUE, ST HELIERS



Comprehensive Property Report

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Disclaimer: This report has been obtained by or for the Vendor and copies are made available to prospective Purchasers for general information purposes only. However, neither the Vendor nor Bayleys Real Estate Ltd warrant the accuracy of this report and neither accept any liability for errors or omissions in the report. Prospective Purchasers and interested parties may not rely upon this report for any decision to purchase this property. They should obtain and rely solely on their own report for any decision to purchase the property.

1. INTRODUCTION



Family Home In The Zone

Located in a popular St Heliers street this home will tick a lot of boxes for families wanting entry level to Glendowie College zone. Or are you a landlord looking for location and good tenants?

Consisting of four bedrooms, separate dining or family room and a modern spacious kitchen, this home caters to young or teenage families alike. The master bedroom has an ensuite and is located far enough away from the other three bedrooms to allow mum and dad just a little bit of space.

Weatherboard and tile construction is always a favourite with home buyers so as a purchaser that's reassuring. There's off-street parking for two cars with potential to add a gated carport as well. A level lawn is a bonus with room for the kids to kick a ball, and the trampoline. Plus the title is freehold with its own separate driveway!

This property is currently tenanted with good tenants who are keen to stay if you are looking to invest, or can be available for possession from December.

2. THE PROPERTY

Address:	68 Ashby Avenue, St Heliers
Certificate of Title:	672526
Legal Description:	Lot 1 DP 480799
Floor Area:	141m ² (more or less)
Land Area:	446m ² (more or less)
Tenure:	Freehold fee simple
ACC Valuation (Land):	\$480,000
(Improvements):	<u>\$310,000</u>
(Capital Value):	\$790,000
Rates:	\$2,742,73
Age:	1960's
No. of Bedrooms:	4
No. of Bathrooms:	2
Chattels:	Dishwasher, Heated Towel Rail, Electric Hob, Rangehood, TV Aerial, Washing Machine Taps, Waste Disposal, Stove, Fixed Floor Coverings, Blinds, Curtains, Light Fittings.

www.bayleys.co.nz/1800202

3. METHOD OF SALE



PRICE BY NEGOTIATION

John Howard

M 021 751 751

B 09 575 0760

E John.howard@bayleys.co.nz

4. CERTIFICATE OF TITLE



COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952



Search Copy

Identifier **672526**
Land Registration District **North Auckland**
Date Issued 14 November 2014

Prior References

NA28A/447

Estate Fee Simple
Area 447 square metres more or less
Legal Description Lot 1 Deposited Plan 480799

Proprietors

Mungus Limited

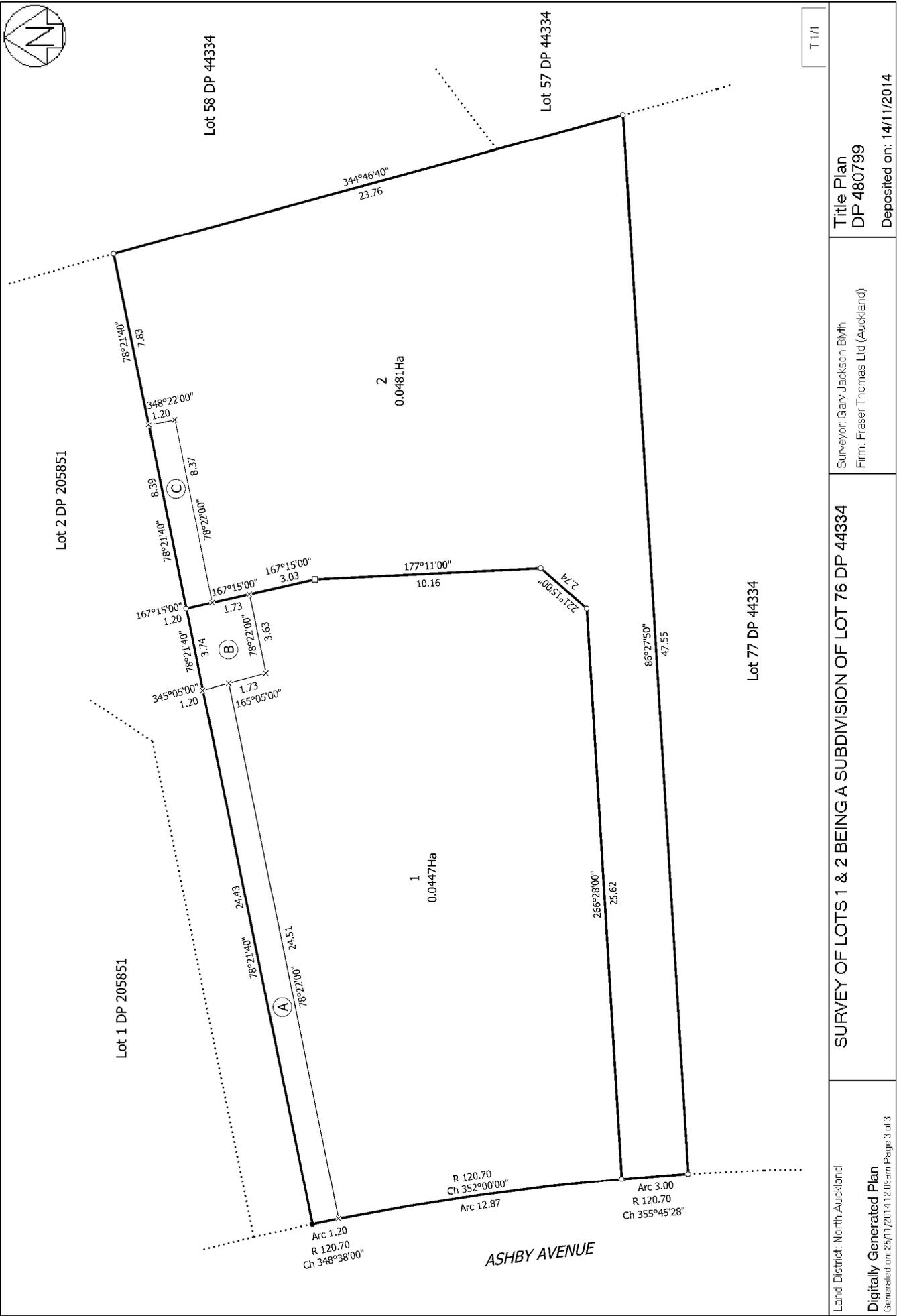
Interests

Subject to a right to convey electricity, telecommunications, water and computer media over part marked A and B and a right to convey wastewater over part marked B all on DP 480799 created by Easement Instrument 9868039.2 - 14.11.2014 at 10:57 am

Appurtenant hereto is a right to convey stormwater created by Easement Instrument 9868039.2 - 14.11.2014 at 10:57 am

The easements created by Easement Instrument 9868039.2 are subject to Section 243 (a) Resource Management Act 1991

10490151.9 Mortgage to Kiwibank Limited - 12.7.2016 at 11:45 am



T/M

Title Plan
DP 480799
Deposited on: 14/11/2014

Surveyor: Gary Jackson Blyth
Firm: Fraser Thomas Ltd (Auckland)

SURVEY OF LOTS 1 & 2 BEING A SUBDIVISION OF LOT 76 DP 44334

Land District: North Auckland
Digitally Generated Plan
Generated on: 25/11/2014 12:06am Page 3 of 3

5. PROPERTY AND RATES INFORMATION

RATES INFORMATION

Location of Rating Unit	68 Ashby Avenue St Heliers Auckland 1071
For period	1 July 2016 to 30 June 2017
Assessment Number	10165358
Valuation Number	16/1260/055/01/00
Valuation as at date	1 July 2014
Capital Value	\$790,000
Land Value	\$480,000
CT Number	CT-672526
Description of Rating Unit	Lot 1 DP 480799 447m2



Description of Rates	Factor/Unit	Factor Value	Rate/Charge	Total(GST inclusive)
Uniform Annual General Charges				
UAGC (Uniform Annual General Charge)	Number of separate parts	1	394	\$394.00
General Rates				
General Rate - Urban Residential	Capital Value	\$790,000	0.00253439	\$2,002.16
Waste Management				
Waste Management - Full Service	Per service provided	1	232.72	\$232.72
Transport Levy				
Targeted Rate - Transport Levy - Non-Business	Number of separate parts	1	113.85	\$113.85
Other Targeted Rates				
Total Rates for 2016/2017 (GST inclusive)				\$2,742.73

6. LIM



Mungus Limited
C/- D & L Mee
53A Ascot Avenue
Remuera
Auckland 1050

This LIM Report has been obtained on behalf of the vendor and copies have been made available to prospective and interested parties for general information purposes only. However, neither the Vendor nor Bayleys Real Estate Limited, Licensed under the REA Act 2008, warrant the accuracy of this copy and we accept no liability for any errors or omissions in the report. All parties are urged to take legal advice and it is recommended to all prospective Purchasers and interested parties that they obtain and rely on their own report for any decision to purchase the property

Applicant	Mungus Limited
LIM address	68 Ashby Avenue St Heliers Auckland 1071
Application number	P/LEN/2016/21860
Client name/ref	
Date issued	02/11/2016
Legal description	Lot 1 DP 480799 447m2
Certificates of title	CT-672526

Disclaimer

This Land Information Memorandum (LIM) has been prepared for the applicant for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987.

The LIM includes information which:

- Must be included pursuant to section 44A of Local Government Official Information and Meetings Act 1987
- Council at its discretion considers should be included because it relates to land
- Is considered to be relevant and reliable

This LIM does not include other information:

- Held by council that is not required to be included
- Relating to the land which is unknown to the council
- Held by other organisations which also hold land information

Council has not carried out an inspection of the land and/or buildings for the purpose of preparing this LIM. Council records may not show illegal or unauthorised building or works on the land.

The applicant is solely responsible for ensuring that the land or any building on the land is suitable for a particular purpose and for sourcing other information held by council or other bodies. In addition, the applicant should check the Certificate of Title as it might also contain obligations relating to the land.

The text and attachments of this document should be considered together.

This Land Information Memorandum is valid as at the date of issue only.

Financial obligations

Financial / development contributions

Financial and development contributions are relevant for recently subdivided land, vacant lots, new residential unit(s) or where there is further development of a site. If any financial or development contribution has not been paid, council can recover outstanding amount(s) from a subsequent owner of the land.

Please note that financial contributions and development contributions may be paid in land, cash or a combination of these. The form of payment of contributions may be subject to negotiation but final discretion remains with the Council.



Auckland Council (09) 301 0101 if you require further information.

Property rates - combined information as of 1 July 2012

Address	68 Ashby Avenue, St Heliers, Auckland 1071
Billing number	10165358
Land area	447m ²
Previous year's rates	2,673.94
Current rates	2,742.73
Arrears	0.00
Penalties	0.00
Other charges	0.00
Total charges	2742.73
Receipts	-685.00
Discounts	0.00
Refunds	0.00
Remissions	0.00
Overpayments	0.00
Balance at 02/11/2016	2,057.73



Auckland Council (09) 301 0101 if you require further information.



Rates information is available for viewing
<http://www.aucklandcouncil.govt.nz>

Retrofit Your Home Programme

The Retrofit Your Home programme provides financial assistance, advice and information to householders wanting to create an improved home environment. The scheme contributes to the achievement of the Air Quality National Environmental Standards encouraging the installation of clean heat and insulation in homes as well as supporting access to central



government grants and subsidies. The programme offers homeowners a retrofit plan for their homes and financial assistance up to \$5000 repaid through a targeted rate.

Note: This LIM does not contain information as to whether this property is subject to a targeted rate under the Retrofit Your Home Programme. To find out if any outstanding rates owing in relation to this programme, please contact Auckland Council (09) 301 0101 or email retrofit@aucklandcouncil.govt.nz for more information.

Water services

Watercare Services charges are based on consumption and are not assessed as a rate pursuant to the Local Government (Rating) Act 2002. As such, any charges invoiced to an individual or entity by Watercare Services is personal information as defined by the provisions of the Privacy Act 1991, and is not information that is required to appear on LIM documentation.



Watercare Services (09) 442 2222 if you require further information on water and wastewater services provided to the property.

Drainage and water services plans

If any as-built private drainage plans and/or public drainage and water services maps exist for this land they will be included in the attachments section.

Note: private drainage is the responsibility of the property owner up to and including the point of connection to the public sewer or drain.



Auckland Council (09) 301 0101 if you require further information.

Consents and permits

The following consents and permits have been applied for and/or issued.

Note that consents and permits for other addresses will be included. For cross leases it may be important to consider these for site coverage issues.

If the land has been subdivided there may be consents and permits included that relate to the original property.

Building, plumbing and drainage consents and permits

Address: 68 Ashby Avenue St Heliers Auckland 1071

Summary description	Application number	Decision	Life span	Status
RBW - Move existing house off site, move new house to rear, move original house back on to front of site. Retaining walls, driveways, storm water and san sewer drainage (Residential alterations)	B/2014/4038	Approved 01/04/2014		CCC Issued 27/11/2014 (1)
Erect carport	O/25372/01	Approved 13/02/1978		Note (2)
Extension	O/19102/02	Approved 12/09/1975		Note (2)
Drainage addition	O/31351	Approved 05/09/1975		Note (2)
Plumbing alterations	O/31352/01	Approved 05/09/1975		Note (2)
Erect dwelling	O/40573/01	Approved 17/01/1963		Note (2)



Status notes:

1. Code Compliance Certificate for this consent was issued on this date. Documents may be included in the attachments section.
2. Permit issued prior to the Building Act 1991 taking effect. Code Compliance Certificates (CCC) were not required.

Life span note: For those building consents issued under the Building Act 1991, life span describes the intended life of an item or building, from CCC issue date, that has been granted approval to be installed, constructed or erected. After this time, the owner is to take the appropriate steps to replace, upgrade or maintain the item or building to the relevant standards that this building consent relates to.

Building Act note: While Auckland Council has always endeavoured to maintain full pre-Building Act records, Councils were not legally obliged to do so. It is recognised that not all records for this period have survived and in other cases where building work is documented, information may be incomplete. Council does not accept responsibility for any omission.



It is recommended that Council records are viewed and compared with the actual building and activities on site to identify any illegal or unauthorised building works or activities.



Auckland Council (09) 301 0101 if you require further information.



Auckland Council building helpdesk (09) 353 9358 if you require further information.

Engineering approvals

No engineering approvals recorded.



Auckland Council (09) 301 0101 if you require further information.

Vehicle crossing permits

Address: 68 Ashby Avenue St Heliers Auckland 1071

Summary description	Application number	Decision	Decision date
Vehicle Crossing for Unit 1 (Vehicle crossing Isthmus)	B/VXI/2014/1127	Issued	10/07/2014

Note: Council has recorded vehicle crossing permits from 22/03/2001. Any vehicle crossing permits prior to that will not be included.



Auckland Council (09) 301 0101 if you require further information.

Resource consents - planning

Address: 68 Ashby Avenue St Heliers Auckland 1071

Summary description	Application number	Decision	Decision date
Two lot freehold subdivision, relocation of existing dwelling, addition of new dwelling (Joint Subdivision and Land use consent)	R/JSL/2014/271	Approved	21/03/2014

Note: If there are any conditions, then only that portion of the consent will be included in the attachments section.



Auckland Council (09) 301 0101 if you require further information.

Resource consents - subdivision

Address: 68 Ashby Avenue St Heliers Auckland 1071

Summary description	Application number	Decision	Decision date
Survey Plan	R/223/2014/271/1	Approved	20/10/2014
Section 224c	R/224C/2014/271/1	Approved	10/11/2014

Note: If there are any conditions, then only that portion of the consent will be included in the attachments section.



Auckland Council (09) 301 0101 if you require further information.

Special Housing Area (SHA)

A number of Special Housing Areas Created under the provisions of the HASHAA 2013 are in operation around Auckland.

Being in a SHA enables land owners/developers to develop under the provisions of the Proposed Auckland Unitary Plan, which may be significantly different to the current 'operative' District Plans, and to access a fast-track development process.

Maps and other information on SHAs can be found on the following internet page:

<http://www.aucklandcouncil.govt.nz/en/ratesbuildingproperty/housingsupply/pages/specialhousingareas.aspx>

Contact the Housing Project Office (09) 373 6292 or specialhousingarea@aucklandcouncil.govt.nz for further information.

Further information

The Council may hold additional information for this property, for example concerning resource consents for discharges to air, land or water issued by the former Auckland Regional Council prior to 1 November 2010 and by Auckland Council prior to November 2013. If you would like the Council to search for this type of information, please call (09) 301 0101.

Swimming/spa pools

No swimming/spa pools recorded.



Auckland Council (09) 301 0101 if you require further information.



Pool fencing information is available for viewing <http://www.aucklandcouncil.govt.nz>

Other issues or actions required

No other issues or actions recorded.



Auckland Council (09) 301 0101 if you require further information.

Planning

This site is in the Auckland Isthmus District Plan area.

The following is a summary of town planning controls affecting this site.

Zoning	Residential - 6a
Limitations	Road Designation - Collector Roads
Proposed Modifications	None recorded.

District Plan maps are contained in the attachments section.



Auckland Council Planning helpdesk (09) 353 9356 for further information.



District Plan maps are available for viewing <http://www.aucklandcouncil.govt.nz>

Please note that the **Proposed Auckland Unitary Plan (Decisions Version)** applies to this property and should be carefully reviewed and considered, as it may have implications for how this property can be developed and/or used. As from 16 September 2016 some parts of the Decisions Version will be beyond challenge and become operative. Where that is the case, those parts of the Decisions Version will replace the corresponding parts of existing (legacy) regional and district plans. If certain parts of the Decisions Version are subject to challenge by appeals, they will not become operative, in which case both the Decisions Version and the existing (legacy) regional and district plans will need to be considered. The relevant planning maps from the Decisions Version and existing (legacy) district plans are attached. The Decisions Version can be viewed online at:

<http://www.aucklandcouncil.govt.nz/EN/planspoliciesprojects/plansstrategies/unitaryplan/Pages/home.aspx>

and the (legacy) regional and district plans can be viewed online at:

<http://www.aucklandcouncil.govt.nz/EN/planspoliciesprojects/plansstrategies/DistrictRegionalPlans/Pages/Home.aspx>

Copies of the appeals to the Decisions Version can be viewed online at:

<http://www.aucklandcouncil.govt.nz/EN/planspoliciesprojects/plansstrategies/unitaryplan/Pages/paupappeals.aspx>

Unitary plan documentation on last attachment.

Special land features

The council knows the following special features or characteristics of this land.

Note that this information should not be regarded as a full analysis of the site features of this land, as there may be features that the council is unaware of. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose including development.

Soil issues	No soil issues recorded. No soil reports held.
Flood risk	No flood risk recorded.
Contamination issues	No Contamination Issues Recorded.
	General issues
	Reports
	No reports are held about issues specific to this site.
Wind zone	No wind feature recorded.
Corrosion exposure zone	Zone 1

New Zealand Standards (NZS 3604:1999) applies zones to all building sites, depending on the degree of exposure to wind-driven sea salt or to geothermal gases.

All of New Zealand is classified as either sea spray zone or zones 1 to 4. The different zones require fittings and fixtures appropriate to the designation.

Auckland Council isthmus and the Gulf Islands sites are designated either sea spray (generally for more coastal locations) or zone 1 (generally city suburbs) or a combination of the two zones. When a property is designated with both sea spray zone and zone 1, the requirements of the sea spray zone will apply.

Classifications will apply for new structures, under Approved Document B1 and B2 of the New Zealand Building Code.

If property is outside Isthmus and Gulf Island boundary please contact Auckland Council Building Helpdesk.



Auckland Council building helpdesk (09) 353 9358 for further details of the Building Code.

A special land features map is contained in the attachments section.

Attachments

Code Compliance Certificates (CCC's)



No documents attached.

Consent conditions



38 pages attached.

Note that these are only a portion of each consent. Page numbering may not be sequential or complete.

Other issues or actions required



No documents attached.

Private drainage plans



2 plans attached.

Public drainage and water services map



Attached map indicates public drainage and water services.

District Plan maps



District Plan – Isthmus, Operative 1999, Map 1 – Zoning
District Plan – Isthmus, Operative 1999, Map 2 – Additional Limitation
District Plan – Isthmus, Operative 1999, Map 3 – Additional Limitation

Special land features map



Attached map indicates wind, flood, soil warnings, soils register and contamination, if recorded.

Unitary Plan Documentation



Unitary plan document(s) attached.
(Unitary Plan Map legend on last page)

21 March 2014

L Mee
53A Ascot Avenue
Remuera
Auckland 1050

Dear Sir/Madam

RESOURCE CONSENT APPLICATION – ADVICE OF DECISION

Application Number(s):	R/JSL/2014/271
Applicant:	L Mee
Proposed Activity(s):	Relocation of existing dwelling within site, new rear dwelling and subsequent two-lot free hold subdivision around the development.
Address:	68 Ashby Avenue, St Heliers, Auckland 1071

Following an assessment of your resource consent application under the Resource Management Act 1991 (RMA) and with reference the Auckland Council Plan (Auckland City Isthmus Plan), a decision has been made to approve your application.

For your reference, a copy of the decision is attached. It outlines the basis for the decision and any associated conditions.

If you disagree with the decision, or parts of it, you can lodge an objection with us or file an appeal with the Environment Court within 15 working days of receiving this decision.

Objections should be addressed to the Principal Planner Hearings and Resolutions - Central, Auckland Council at 35 Graham Street, Auckland. Information on "The Objection Process" can be found on our website www.aucklandcouncil.govt.nz (select "Building, Property and Consents", "Resource Consent" then "The process from application to decision" and finally "Objections to Council").

Information on the appeal process can be found on the Environment Court website www.justice.govt.nz/court/environment-court.

A final invoice will be sent shortly. No work is allowed to commence until all outstanding fees have been paid, as stated in the conditions of your consent.

If you have any queries, please contact Kelly Andrew phone 09 352 2728 or email Kelly.Andrew@aucklandcouncil.govt.nz and quote the application number above.

Yours faithfully,



Kim Rowe
Administrator
Central Resource Consenting and Compliance
RESOURCE CONSENTS

Decision on an Application for a Resource Consent under the Resource Management Act 1991



Application Number(s): R/JSL/2014/271

Applicant's Name: Linda Mee

Site Address: 68 Ashby Avenue, St Heliers, Auckland 1071

Legal Description: Lot 76 DP 44334

NZTM map reference: Easting: 1765820.11 / Northing: 5918151.85

Proposal: Relocation of existing dwelling within site, new rear dwelling and subsequent two-lot free hold subdivision around the development

I have read the application, supporting documents, and the report and recommendations on the consent application. I am satisfied that I have sufficient information to consider the matters required by the Resource Management Act 1991 (RMA) and make a decision under delegated authority on this application.

Land Use Consent

This requires resource consent for the following reasons:

Operative Plan

- The proposal involves the gradient of the first 4 meters of access to exceed 1 in 20 where a maximum grade of 1 in 7.1 is provided. Pursuant to Rule 12.8.2.1 of the District Plan, this is a **Discretionary activity**.
- The proposal involves the combined width of the two crossings to exceed 7 meters, where a combined width of 8.5m is provided (Rule 12.8.2.2 of the District Plan). Pursuant to Rule 12.9.1.1 of the District Plan, this is a **Restricted Discretionary activity**.
- The proposal involves reverse manoeuvring directly onto the road where four or more parking spaces gain access from a collector road. Pursuant to Rule 12.8.2.3 of the District Plan, this is a **Discretionary activity**.

Acting under delegated authority, under sections 104, and 104B this application is **GRANTED**.

Reasons

Under section 113 of the RMA the reasons for this decision are:

- In terms of section 104(1)(a), the actual or potential effects are acceptable and less than minor. In particular, the development is generally consistent with the surrounding urban environment and anticipated growth. The existing dwelling will remain on site but re-positioned only a short distance north and an additional single level dwelling proposed to the rear will be somewhat screened from the street.

Improving the first four meter grade of the driveway providing access to the rear dwelling would create adverse effects as opposed to any significant benefits to both users and other vehicular and pedestrian traffic. There will be no potential conflict between the two crossings and sufficient separation allows for safe and ease of pedestrian movement. The vehicle access arrangements can be accommodated by the road network without compromising its function, capacity or safety and any potential adverse effects are less than minor upon the wider vehicular and pedestrian environment.

The development is within the anticipated levels in terms of coverage and building in relation to boundary so visual effects in terms of form and scale are indiscernible from a complying situation. Fencing and vegetation around the periphery of the site also provide some screening. Overall, the development is acceptable and any adverse effects are less than minor.

- In terms of section 104(1)(b), the development is consistent with the objectives and policies of the District Plan, in particular the Residential 6a zone and relevant assessment criteria for discretionary activities.

Under the Proposed Auckland Unitary Plan, the subject site is zoned 'mixed housing suburban', which provides for moderate level of intensification, while retaining a relatively spacious quality consistent with a suburban residential character, compared to the Mixed Housing Urban and Terrace Housing and Apartment Buildings zones. Development within the zone will generally be two storey detached and attached housing in a variety of types and sizes to provide housing choice.

Outcomes under both plans are similar as each allows for medium density suburban character and amenity. Accordingly, no weighting assessment is required as the outcomes are the same under both plans.

- In terms of section 104(1)(c), other relevant matters have been considered. Conditions relate to standard earthworks, construction and access. A development contribution is applicable under the Auckland Council Development Contributions Policy.

- In terms of Part 2, the development is consistent with both the objectives and policies of the District Plan and as such, the sustainable management approach of the Act in that it is an efficient use of an existing resource and designed in a way that considers both the natural and physical environment.

Conditions

Under section 108 of the RMA, this consent is subject to the following conditions:

General Conditions

1. The activity shall be carried out in accordance with the plans and all information submitted with the application, detailed below, and all referenced by the Council as consent number R/JSL/2014/271.
 - Application Form, and Assessment of Effects prepared by Fraser Thomas Ltd, dated January 2014;
 - Specialist Reports as detailed below, and additional information.

Specialist Report Title	Prepared by	Rev	Dated
Geotechnical Investigation Report	Fraser Thomas Ltd	Ref 62421	January 2014
Traffic Engineering Assessment	TPC – Traffic Planning Consultants Ltd	Ref 14040	4 March 2014
Additional Info – Details (Erosion and Sediment Control)	BCW Design Ltd	Ref 13070, Sheet 16	24.02.2014
Additional Info – Details (Erosion and Sediment Control)	BCW Design Ltd	Ref 13070, Sheet 17	24.02.2014

Drawing reference number	Title	Architect / Author	Dated
Ref 89442/SP	<i>Proposed Subdivision of Lot 76 DP 44334</i>	Fraser Thomas Ltd	18/12/13
Job No 13070, Sheet 1, Rev 1	<i>Site Layout at 68 Ashby Avenue for Mungus Ltd</i>	BCW Design Ltd	24.02.2014
Job No 13070, Sheet 1a, Rev 1	<i>Earthworks Plan at 68 Ashby Avenue for Mungus Ltd</i>	BCW Design Ltd	24.02.2014
Job No 13070, Sheet 2	<i>On-Site Relocation at 68 Ashby Avenue – St Heliers for Mungus Ltd</i>	BCW Design Ltd	24.02.2014
Job No 13070, Sheet 4	<i>On-Site Relocation at 68 Ashby Avenue – St Heliers for Mungus Ltd</i>	BCW Design Ltd	24.02.2014

Job No 13070, Sheet 5	<i>On-Site Relocation at 68 Ashby Avenue – St Heliers for Mungus Ltd</i>	BCW Design Ltd	24.02.2014
Job No 13070, Sheet 6	<i>Proposed House Relocation to 68 Ashby Avenue – St Heliers for Mungus Ltd</i>	BCW Design Ltd	24.02.2014
Job No 13070, Sheet 8, Rev 1	<i>Proposed House Relocation to 68 Ashby Avenue – St Heliers for Mungus Ltd</i>	BCW Design Ltd	24.02.2014
Job No 13070, Sheet 9, Rev 1	<i>Proposed House Relocation to 68 Ashby Avenue – St Heliers for Mungus Ltd</i>	BCW Design Ltd	24.02.2014

2. This consent (or any part thereof) shall not commence until such time as the following charges, which are owing at the time the Council's decision is notified, have been paid in full:
 - a. All fixed charges relating to the receiving, processing and granting of this resource consent under section 36(1) of the Resource Management Act 1991 (RMA); and
 - b. All additional charges imposed under section 36(3) of the RMA to enable the Council to recover its actual and reasonable costs in respect of this application, which are beyond challenge.
3. The consent holder shall pay any subsequent further charges imposed under section 36 of the RMA relating to the receiving, processing and granting of this resource consent within 20 days of receipt of notification of a requirement to pay the same, provided that, in the case of any additional charges under section 36(3) of the RMA that are subject to challenge, the consent holder shall pay such amount as is determined by that process to be due and owing, within 20 days of receipt of the relevant decision.

Advice Note:

Development contributions levied under the Local Government Act 2002 are payable in relation to this application. The consent holder will be advised of the development contributions payable separately from this resource consent decision. Further information about development contributions may be found on the Auckland Council website at www.aucklandcouncil.govt.nz.

4. Under section 125 of the RMA, this consent lapses five years after the date it is granted unless:
 - a. The consent is given effect to; or
 - b. The Council extends the period after which the consent lapses.

5. The consent holder shall pay the Council an initial consent compliance monitoring charge of \$500.00 (inclusive of GST), plus any further monitoring charge or charges to recover the actual and reasonable costs that have been incurred to ensure compliance with the conditions attached to this consent.

Advice Note:

The initial monitoring charge is to cover the cost of inspecting the site, carrying out tests, reviewing conditions, updating files, etc, all being work to ensure compliance with the resource consent. In order to recover actual and reasonable costs, inspections, in excess of those covered by the base fee paid, shall be charged at the relevant hourly rate applicable at the time. The consent holder will be advised of the further monitoring charge or charges as they fall due. Such further charges are to be paid within one month of the date of invoice. Only after all conditions of the resource consent have been met, will Council issue a letter confirming compliance on request of the consent holder.

Development in progress conditions

Construction

6. All construction, demolition and earthworks activities on the subject site shall comply with the New Zealand Standard 6803:1999 for Acoustics – Construction Noise at all times.

The use of noise generating tools, motorised equipment, and vehicles that are associated with construction and earthworks activity on the subject site shall therefore be restricted to between the following hours to comply with this standard:

Monday to Saturday: 7a.m. to 6p.m.

Sundays or Public Holidays: no works

7. There shall be no obstruction of access to public footpaths, berms, private properties, public services/utilities, or public reserves resulting from the construction and earthworks activity. All materials and equipment shall be stored within the subject site's boundaries.

Erosion and sediment control

8. All earthworks shall be managed to ensure that no debris, soil, silt, sediment or sediment-laden water is discharged from the subject site to either land, stormwater drainage systems, watercourses or receiving waters. In the event that a discharge occurs, works shall cease immediately and the discharge shall be mitigated, and/or rectified, to the satisfaction of the Team Leader, Compliance Monitoring Central.

Advice Note:

All earthworks shall be undertaken to ensure that all potential sediment discharges are appropriately managed. Such means and measures may include:

- *catchpit protection*
- *run-off diversions*
- *sediment retention ponds*
- *silt and sediment traps*
- *decanting earth bunds*
- *silt fences*

It is recommended that you discuss any potential measures with the Council's monitoring officer who will guide you on the most appropriate approach to take. Please contact the Team Leader, Compliance Monitoring Central for more details. Alternatively, please refer to "Auckland Regional Council, Technical Publication No. 90, Erosion & Sediment Control Guidelines for Land Disturbing Activities in the Auckland Region".

Formation of parking pad

9. A vehicle parking area suitable for two vehicles shall be formed, provided with an all weather surface, and drained for the front dwelling. A building consent is required for any private drainage.

Advice Notes

1. *Retaining walls over a certain height or carrying a surcharge require a Building Consent. Refer to the Building Code for requirements.*
2. *A copy of this consent shall be held on site at all times during the establishment and construction phase of the activity.*
3. *The consent holder is requested to notify Council, in writing, of their intention to begin works, a minimum of seven days prior to commencement. Such notification should be sent to the Resource Consent Monitoring Team Leader (email: rcmadmin@aucklandcouncil.govt.nz or fax: 353 9186) and include the following details:*
 - *name and telephone number of the project manager and the site owner*
 - *site address to which the consent relates*
 - *activity to which the consent relates*
 - *expected duration of works*

4. *This consent does not relieve the consent holder of his/her responsibility to apply for any other consents which may be required by the Auckland Council and/or New Zealand Historic Places Trust. This consent is issued under the Resource Management Act 1991 and does not remove the need to comply with all other applicable Acts (including the Property Law Act), regulations, Bylaws, and rules of law.*
5. *The scope of this resource consent is defined by the application made to Auckland Council and all documentation supporting that application.*
6. *If you disagree with any of the above conditions, or disagree with the additional charges relating to the processing of the application you have a right of objection pursuant to sections 357A or 357B of the Resource Management Act 1991. Any objection must be made in writing to Council within 15 working days of notification of the decision.*

Subdivision Consent

This requires resource consent for the following reasons:

Operative Plan

Under the subdivision rules (part 11.5.2.2) of the Auckland Council District Plan (Auckland City Isthmus Section 1999), Subdivision around existing or approved development requires a discretionary activity consent.

Land Use infringement also arise as part of the creation of the internal boundaries as follows:

- The 35% maximum building coverage control (Rule 7.8.1.4 of the Operative District Plan) as it applies to this zone is infringed on **Lot 1** by 5.6% or 24.86m², with 156.1m² allowed and 180.96m² or 40.57% proposed. Pursuant to Rule 4.3.1.2B, this is a **Discretionary activity**.
- The 40% minimum landscaped permeable surface control (Rule 7.8.1.5 of the Operative District Plan) as it applies to this zone is infringed on **Lot 2** by 1.4% or 5.5m², with 158.8m² required and 153.3m² or 38.61% proposed. Pursuant to Rule 4.3.1.2B, this is a **Discretionary activity**.
- The 25% maximum paved impermeable surface control (Rule 7.8.1.6 of the Operative District Plan) as it applies to this zone is infringed on **Lot 2** by 1.4% or 5.4m², being offset by a 6.1% reduction in building coverage where 124.7m² is allowed and 130.1m² or 32.8% is proposed. Pursuant to Rule 4.3.1.2B, this is a **Discretionary activity**.

- The 2m + 45° building in relation to boundary control (Rule 7.8.1.3b of the Operative District Plan) is infringed on Lot 1 by a maximum vertical height of 1.7m reducing to 0.30m over a maximum horizontal length of 7.7m as it relates to the eastern (internal) boundary. Pursuant to Rule 4.3.1.2B, this is a **Discretionary activity**.

Acting under delegated authority, under sections 104, 104B this application is **GRANTED**.

Reasons

Under section 113 of the RMA the reasons for this decision are:

- In terms of section 104(1)(a), the actual or potential effects are acceptable and less than minor. The development provides adequate provision for the disposal of stormwater and wastewater, and adequate vehicle access for each lot. The newly created sites are of sufficient size and dimension so that each generally complies with a majority of the development controls for the zone and an appropriate level of amenity is achieved on site. As such, the development is generally consistent with the surrounding urban environment and anticipated growth.

Overall, the actual and potential adverse effects are appropriate and the subdivision is suitable and in keeping with the surrounding environment.

- In terms of section 104(1)(b), the development is consistent with the relevant policy statements and plans or proposed plans, including the relevant objectives, policies and assessment criteria for the Residential 6a zone, subdivision and transportation. The subdivision provides for growth while considering and maintaining characteristics of the natural and physical environment.
- In terms of section 104(1)(c), other relevant matters have been considered. Conditions relate to the creation and servicing of the lots including the provision of wastewater and stormwater, access and relevant easements. A development contribution is applicable under the Auckland Council Development Contributions Policy.
- In terms of Part 2, the development is consistent with both the objectives and policies of the District Plan and as such, the sustainable management approach of the Act in that it is an efficient use of an existing resource and designed in a way that considers both the natural and physical environment.

Conditions

Under section 108 and 220 of the RMA, this consent is subject to the following conditions:

General Conditions

1. The activity shall be carried out in accordance with the plans and all information submitted with the application, detailed below, and all referenced by the Council as consent number R/JSL/2014/271.
 - Application Form, and Assessment of Effects prepared by Fraser Thomas Ltd, dated January 2014;
 - Specialist Reports as detailed below, and additional information.

Specialist Report Title	Prepared by	Rev	Dated
Geotechnical Investigation Report	Fraser Thomas Ltd	Ref 62421	January 2014
Traffic Engineering Assessment	TPC – Traffic Planning Consultants Ltd	Ref 14040	4 March 2014
Additional Info – Details (Erosion and Sediment Control)	BCW Design Ltd	Ref 13070, Sheet 16	24.02.2014
Additional Info – Details (Erosion and Sediment Control)	BCW Design Ltd	Ref 13070, Sheet 17	24.02.2014

Drawing reference number	Title	Architect / Author	Dated
Ref 89442/SP	<i>Proposed Subdivision of Lot 76 DP 44334</i>	Fraser Thomas Ltd	18/12/13
Job No 13070, Sheet 1, Rev 1	<i>Site Layout at 68 Ashby Avenue for Mungus Ltd</i>	BCW Design Ltd	24.02.2014

2. This consent (or any part thereof) shall not commence until such time as the following charges, which are owing at the time the Council's decision is notified, have been paid in full:
 - b. All fixed charges relating to the receiving, processing and granting of this resource consent under section 36(1) of the Resource Management Act 1991 (RMA); and
 - c. All additional charges imposed under section 36(3) of the RMA to enable the Council to recover its actual and reasonable costs in respect of this application, which are beyond challenge.

3. The consent holder shall pay any subsequent further charges imposed under section 36 of the RMA relating to the receiving, processing and granting of this resource consent within 20 days of receipt of notification of a requirement to pay the same, provided that, in the case of any additional charges under section 36(3) of the RMA that are subject to challenge, the consent holder shall pay such amount as is determined by that process to be due and owing, within 20 days of receipt of the relevant decision.

Advice Note:

Development contributions levied under the Local Government Act 2002 are payable in relation to this application. The consent holder will be advised of the development contributions payable separately from this resource consent decision. Further information about development contributions may be found on the Auckland Council website at www.aucklandcouncil.govt.nz.

Survey Plan Approval (s223) Conditions

4. That drainage and services easements labelled 'A', 'B' and 'C' be granted or reserved.

Section 224(c) Compliance Conditions

5. That a certificate pursuant to section 224(c) of the Resource Management Act will not be issued until conditions **5.1 to 5.9** have been met to the satisfaction of the Council and at the applicants expense.

Wastewater

- 5.1 All the necessary pipes and ancillary equipment shall be supplied and laid to provide an individual private wastewater connection to Lot 2 and connect it to the existing public wastewater manhole located on Lot 1 via easement 'B'.

A Building Consent is required. The connection shall be marked by a 50mm x 50mm x 1m tanalised painted red stake on completion and clearly dimensioned on any drainage "As-Built".

Existing wastewater connection

- 5.2 The existing private wastewater connection serving Lot 1 shall be assessed for its condition and exact location. The applicant shall demonstrate to Council before the issue of the 224c certificate that the condition of the existing connection is acceptable. A CCTV with log sheets shall be submitted to Auckland Council Development Engineering (CBD), to check the suitability of the existing connection.

Note: In case of poor condition of the existing connection, building consent will be required for new connection or upgrading the existing connection.

Stormwater

- 5.3 All the necessary pipes and ancillary equipment shall be supplied and laid to provide a stormwater private connection to Lot 1 and connect it to the public stormwater line located within Lot 2.

A Building Consent is required. The connection shall be marked by a 50mm x 50mm x 1m tanalised painted blue stake on completion and clearly dimensioned on any drainage "As-Built".

Existing stormwater connection

- 5.4 The existing private stormwater connection serving Lot 2 shall be assessed for its condition and exact location. The applicant shall demonstrate to council before the issue of 224c certificate that the condition of the existing connection is acceptable. A CCTV with log sheets shall be submitted to Auckland Council Development Engineering (CBD), to check the suitability of the existing connection.

Note: In case of poor condition of the existing connection, building consent will be required for new connection or upgrading the existing connection.

Relocation of existing dwelling

- 5.5 The existing dwelling shall be relocated north within the site clear of all new boundaries which will include relocation and construction of the retaining wall and formation of access for Lot 2. Any other structures straddling boundaries are also required to be removed.

Private as- built drawings

- 5.6 With respect to conditions 5.1 – 5.5: the consent holder is advised that a Section 224(c) Certificate will not be issued until a Code Compliance Certificate has been issued for the private drainage works, OR a copy of the Auckland City Council's Inspections Officer's sign off and drainlayer's signed "As-Built" drainage plan are provided to confirm that the drainage work has been completed and inspected to Councils satisfaction.

Parking Pad for Lot 1

- 5.7 A vehicle parking area suitable for two vehicles shall be constructed in front of the existing dwelling on Lot 1. A wheel stop shall be provided on the raised car parking pad to provide a barrier for vehicles. A building consent is required for the drainage.

Vehicle crossings

- 5.8 The existing vehicle crossing shall be widened to serve Lot 1 (as shown on the 'site layout plan' prepared by BCW Design Ltd. A Vehicle Crossing Permit is required to be obtained for these works. Please contact Auckland Transport for vehicle crossings on Phone (09) 353 3553 or refer to their website for standards and requirements: <http://www.aucklandtransport.govt.nz/moving-around/delays-roadworks/WorkingOnTheRoad/Pages/Vehicle-Crossing-Applications.aspx#inspections>
- 5.9 A new vehicle crossing shall be constructed to serve Lot 2. A Vehicle Crossing Permit is required to be obtained for these works. Please contact Auckland Transport for vehicle crossings on Phone (09) 353 3553 or refer to their website for standards and requirements: <http://www.aucklandtransport.govt.nz/moving-around/delays-roadworks/WorkingOnTheRoad/Pages/Vehicle-Crossing-Applications.aspx#inspections>
6. Under Section 125 of the RMA this resource consent (subdivision) will expire five years after the date of commencement of consent unless given effect to by lodging a survey plan (S223) in respect of the subdivision to the Council within the five year period. An extension of time may be applied for 3 months prior to this period in accordance with section 125(1)(b) of the Resource Management Act 1991
7. The Survey Plan must then be deposited with LINZ within 3 years of the Council granting approval under Section 223 to the above plan in accordance with S224(h) of the Act. If the plan is not deposited then the approval under S223 expires and the subdivision lapses.

Advice notes

- 1. All water supply connections to the Watercare supply main and shall be designed in accordance with Watercare's "Development and Connection Standards" and be made by a Watercare approved contractor. For details, please contact Watercare.*
- 2. Retaining walls over a certain height or carrying a surcharge require a Building Consent. Refer to the Building Code for requirements.*
- 3. Any provision being made for telecommunications, power or gas to this subdivision are to be underground and are to be to the requirements of the respective utility services.*

4. Development may involve building over or adjacent to a Council Public stormwater/wastewater drain. A building consent shall be required for this work. A CCTV shall be required to be submitted to Auckland City as a part of building consent application. Diversion /replacement /bridging of the old public stormwater/wastewater drain may be required at the building consent stage. Works on public drains require an engineering plan approval.
5. Please note that a fee is payable upon lodgement of an application for the issue of a certificate pursuant to Section 224(c) of the Resource Management Act 1991 relating to this application. Please contact Auckland Council for the current fee.
6. Please attach copies of any Code Compliance Certificate(s) for the drainage work(s) or copies of the Auckland Council Inspections Officer's sign off and drainlayer's signed "As Built" drainage plans with the application for the issue of a certificate pursuant to Section 224(c) of the Resource Management Act 1991 relating to this application.
7. If you disagree with any of the above conditions, or with any additional charges relating to the processing of the application, you have a right of objection pursuant to Section 357 of the Resource Management Act 1991 which shall be made in writing to Council within 15 working days of notification of the decision. Council will as soon as practicable consider the objection at a hearing.

Acting under delegated authority, Resource Consent R/JSL/2014/271 shall be granted subject to the conditions of consent specified above.

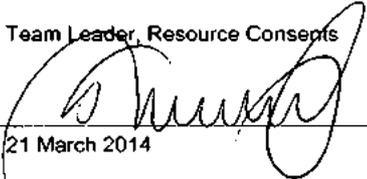
Author:

Name: Kelly Andrew
Title: Intermediate Planner, Resource Consents

Signed: 
Date: 21 March 2014

Delegated decision maker:

Name: Liz Stewart
Title: Team Leader, Resource Consents

Signed: 
Date: 21 March 2014

Application for Resource Consent
Form A

Property, Consents and Licensing
Under Section 88 of the Resource Management Act 1991
Please send or deliver your application to the Council

22 JAN 2014



Office Use Only:
Application No _____
Receipt Date _____
Deposit Paid _____

It is important to complete both FORM A and other relevant FORM B(s) and provide all necessary information as required in order for your application to be accepted.

1 0 GENERAL DETAILS	
<p>This application is for:</p> <p> <input type="checkbox"/> Landuse Consent (District/City) <input type="checkbox"/> Subdivision Consent <input checked="" type="checkbox"/> Combined Landuse/Subdivision <input type="checkbox"/> Discharge Permit <input type="checkbox"/> Coastal Permit <input type="checkbox"/> Water Permit <input type="checkbox"/> Landuse Consent (Regional) <input type="checkbox"/> Other (give details) </p>	
<p>Site(s) to which this application relates is described as:</p> <p>No: <input type="text" value="68"/> Street: <input type="text" value="Ashby Avenue"/> Suburb: <input type="text" value="St Heliers"/></p> <p>Legal Description: <input type="text" value="Lot 76 DP 44334"/></p>	
2 0 APPLICANT DETAILS	
<p>Name: (please write all names in full) <input type="text" value="Linda Mee"/></p> <p>Name of company contact/trustee names: <input type="text"/></p> <p>Physical Address: <input type="text" value="53a Ascot Ave Remuera"/> Postcode: <input type="text" value="1050"/></p> <p>Postal Address: (if different) <input type="text" value=""/> Postcode: <input type="text"/></p> <p>Phone (day): <input type="text" value="529 2572"/> Mobile: <input type="text" value="021 352421"/> Fax: <input type="text"/></p> <p>Email: <input type="text" value="linda.mee@smcevents.co.nz"/> <input checked="" type="checkbox"/> Please tick if email preferred method</p> <p>The applicant is the:</p> <p> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Occupier <input type="checkbox"/> Lessee <input type="checkbox"/> Prospective Purchaser <input type="checkbox"/> The Crown <input type="checkbox"/> Network Utility Operator <input type="checkbox"/> Other </p> <p>of the site to which the application relates</p> <p>Form A (05/07/11)</p>	

3.0 AGENT/CONSULTANT DETAILS (If different from above)

Company: Contact Person:

Postal Address of Agent: Postcode:

Phone (day): Mobile: Fax:

Email: Please tick if email preferred method

4.0 ADDRESS FOR CORRESPONDENCE AND INVOICES

All correspondence (excluding invoices) sent to:

Address: Postcode:

Applicant Agent/Consultant Other (give details)

Invoices sent to:

Address: Postcode:

Applicant Agent/Consultant Other (give details)

5.0 DISTRICT AND REGIONAL PLANS

Relevant District Plan:

Auckland Central Auckland Gulf Islands Auckland Isthmus
 Franklin Manukau North Shore
 Papakura Rodney Waitakere

Relevant Regional Plan:

Coastal Sediment Control Proposed Air, Land, Water
 Farm Dairy Discharges Transitional Regional Plan

6.0 DESCRIPTION OF PROPOSED ACTIVITY (If insufficient space please provide on additional pages)

Relocation of existing house on-site, locating a new relocatable disability on rear of site and completion of @ two lot freehold subdivision.

7.0 ADDITIONAL RESOURCE CONSENTS REQUIRED

Are any resource consent(s) required for this proposal but not being applied for under this application?

Landuse Consent (District/City) Subdivision Consent Discharge Permit
 Coastal Permit Water Permit Landuse Consent (Regional)

Other (give details)

Please advise of any previous consents related to this current application:

Accept? Reject?	8.0 PRE APPLICATION INFORMATION
<p>Have you received pre-application information or had a pre-application meeting regarding this proposal from the Council?</p> <p> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Copy of meeting minutes attached Date of meeting: <input style="width: 100px;" type="text"/> </p> <p>If YES, provide the reference number and/or name of staff member(s): <input style="width: 200px;" type="text"/></p>	
9.0 SITE VISIT REQUIREMENTS	
<p>9.1 <input checked="" type="checkbox"/> As landowner and with the consent of any occupiers or lessees, I agree to council staff or authorised consultants visiting the site, which is the subject of this application, for the purpose of assessing this application.</p> <p style="text-align: center;">OR</p> <p>9.2 <input type="checkbox"/> If applicant is not the landowner:</p> <p>Landowner's full name: <input style="width: 300px;" type="text"/></p> <p>Landowner's signature: <input style="width: 150px;" type="text"/> Date Signed: <input style="width: 50px;" type="text"/></p> <p>Person authorised to sign on behalf of Landowner: <input style="width: 300px;" type="text"/></p> <p>Authorising person's signature: <input style="width: 150px;" type="text"/> Date Signed: <input style="width: 50px;" type="text"/></p> <p>9.3 Is there a locked gate or security system restricting access by council staff? <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>9.4 Do you have a dog on the property? <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>9.5 Provide details of any entry restrictions that council staff should be aware of, e.g. health and safety, organic farm etc.</p> <p><input style="width: 300px; height: 20px;" type="text"/></p> <p><input style="width: 300px; height: 20px;" type="text"/></p> <p><input style="width: 300px; height: 20px;" type="text"/></p>	
10.0 NOTIFICATION OF THE APPLICATION	
<p>Are you requesting the application to be publicly notified? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Are you requesting the application to be notified to any persons who you consider are likely to be adversely affected by your proposal "if the activity's adverse effects on the person are minor or more than minor (but not less than minor)" and have not provided their written approval. (Please note it is at the discretion of council if an application should be limited notified.) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes to either of the above, please provide an executive summary of your application for notification purposes.</p>	
11.0 INFORMATION TO BE SUBMITTED WITH THE APPLICATION	
<p>To satisfy the requirements of section 88(2) of the Resource Management Act 1991 (RMA), please attach the following information. If inadequate information is supplied with your application, this will cause delays in processing or may result in the application being returned pursuant to section 88(3) of the RMA. Four (4) copies (including one unbound) of the following information is required.</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> A completed signed application form (Form A) including authorisation for site inspection and signed and dated by persons responsible for payment of fees and charges. <input checked="" type="checkbox"/> Any information required to be included in this application by the district plan, the regional plan, the RMA or any regulations made under that Act. <input checked="" type="checkbox"/> Certificates of Title less than 3 months old for the subject site. Attach the title and any relevant consent notices, covenants, easements attached to the title if relevant or impacted by the proposed activity. <input checked="" type="checkbox"/> Locality Plan or Aerial Photo at 1:500 Scale. Indicate the location of the site in relation to the street and other landmarks. Show the street number of the subject site and those of adjoining sites (rural sites can be shown at 1:1000 if required). 	

11.0 INFORMATION TO BE SUBMITTED WITH THE APPLICATION cont'd

- Details(s) of the resource consent(s) being applied for including reference to specific Rule(s) / Infringement(s).
- In accordance with Schedule 4 of the RMA, an assessment of environmental effects in the detail that corresponds with the scale and significance of the effects that the proposed activity may have on the environment. Include a full description of the proposed activity, the effects that may be generated and how these would be managed. Any consultation undertaken needs to be identified if any, and any response to any person consulted shall be identified. This may require specialist(s) report to be provided. For more information refer to the fourth Schedule of the RMA.
- Details of other resource consents required but not being applied for at this time (as referred to in Additional Resource Consents section).
- Information as required by the relevant Form B (indicate below which form(s) is/are being attached).

District Plan

- | | | |
|---|---|---|
| <input type="checkbox"/> B1 Auckland Central Area | <input type="checkbox"/> B2 Auckland Gulf Islands | <input checked="" type="checkbox"/> B3 Auckland Isthmus |
| <input type="checkbox"/> B4 Franklin | <input type="checkbox"/> B5 Manukau | <input type="checkbox"/> B6 North Shore |
| <input type="checkbox"/> B7 Papakura | <input type="checkbox"/> B8 Rodney | <input type="checkbox"/> B9 Waitakere |

Regional Plan

- | | |
|--|--|
| <input type="checkbox"/> B10 To make, alter or install a bore | <input type="checkbox"/> B11 To take, use or divert groundwater |
| <input type="checkbox"/> B12 To take or use surface water | <input type="checkbox"/> B13 To dam surface water |
| <input type="checkbox"/> B14 To divert surface water | <input type="checkbox"/> B15 Land disturbing activities - sediment control |
| <input type="checkbox"/> B16 Diversion and discharge of stormwater | <input type="checkbox"/> B17 Activities in, on, under or over the beds of lakes, rivers and streams |
| <input type="checkbox"/> B18 To discharge less than or equal to 6m ³ / day of domestic wastewater onto or into Land | <input type="checkbox"/> B19 To discharge contaminants into or onto land or to water |
| <input type="checkbox"/> B20 To discharge contaminants into air | <input type="checkbox"/> B21 To discharge contaminants onto or into land from an industrial or trade process |
| <input type="checkbox"/> B22 Remediation, disturbance management and discharge from contaminated land | <input type="checkbox"/> B23 Coastal activities |

12.0 CONTRIBUTIONS

When granting consent to certain activities, the Council may levy a monetary contribution. Development contributions are levied under the Local Government Act 2002 in accordance with the Council's Development Contribution Policy. Financial or reserve contributions are levied under the RMA under the relevant District Plan. Any such contributions can be challenged. However, when such contributions become due, the consent holder is responsible for their payment.

Name and address of person responsible for payment of any contributions:

Name: (please write all names in full)

Phone (home): (business) (mobile)

Email: Fax:

Signature: Date:

13.0 DEPOSIT

The required deposit must be paid before any processing of the application will start

I enclose a deposit fee of for the processing of this application. I/we understand that Council may invoice me for the actual and reasonable costs incurred in the processing of this application. *

Accept/Reject

14.0 DECLARATION CONCERNING PAYMENT OF FEES

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under sections 357B and 358 of the RMA to object to any costs, I/we undertake to pay all processing costs incurred by the Council. Without limiting the Council's legal rights, if any steps, including the use of debt collectors, are necessary to recover unpaid processing costs, I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company, in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Full name: Linda Mee

Signature: L Mee

Address: 53a Ascot Ave Remuera
Post code: 1050

Date: 24/11/13

15.0 SIGNATURE OF APPLICANT

Full name: Linda Mee

Signature: L Mee

Address: 53a Ascot Remuera
Post code: 1050

Date: 24/11/13

Full name: [Signature]

Signature: [Signature]

Address: [Signature]
Post code: [Signature]

Date: [Signature]

PRIVACY INFORMATION

The information you have provided on this form is required so that your application can be processed under the RMA, so that statistics can be collected by the Council. The information will be stored on a public register, and held by the Council. The details may also be made available to the public on the Council's website. These details are collected to inform the general public and community groups about all consents which have been issued through the Council. If you would like to request access to, or correction of your details, please contact the Council.

* Refer to Fees and Charges Schedule.

Attach four copies of any information identified in Form B in support of this application. This form and checklist is intended as a guide to help you to ensure that all the required information is submitted with your application. The level of information should be both relevant and appropriate to the scale of the proposal and reflected in your Assessment of Environmental Effects. This may require the need for Specialist(s) Reports.

Please ensure you complete this form in full and include with your application. This form needs to be attached with Form A when submitting an application. Delays in processing the application will occur if inadequate information is supplied.

This checklist is not exhaustive and you may be required to submit other information with your application. During the course of processing the application it may be identified that further information is requested to continue with the assessment to enable a better understanding of the effects of the application.

SECTION 1

1.0 GENERAL

Zone: Road Classification:

Limitations: (e.g. contamination, soil warning area, coastal management area)

I have attached information as per information requirements for Resource Consents, as specified in the Auckland City District Plan 1999 – Isthmus Section – Clause 6D.2.0 Operative Plan (ODP) and the Proposed Plan (PDP)

I have attached the following specialist(s) report(s) (provide title, author and date in the space below).

Resource Consent Application for
Residential Development at 68 Ashby Avenue
S+ Hellers
Date January 2014

I have attached plan(s) prepared in accordance with Guidance Note 1, Preparation of Plans.

- Site Plan showing the EXISTING situation on the subject site
 - Plan/s showing the PROPOSED Activity
 - Elevation Drawings of all buildings / structures to be built or altered
- And/or
- General Subdivision requirements (applicable to subdivision applications only)

SECTION 2

2.0 GENERAL RULES OF THE DISTRICT PLAN

Does the proposal involve building, development or subdivision on land that is known to be or likely to be subject to flooding/inundation, or affected by an overland flow path - refer Part 5D of the Plan

Yes No

If yes, a flood assessment from a suitably qualified person may be required to be provided with the application.

Does the proposal involve building, development (including earthworks and vegetation removal) or subdivision on land that is known to be or likely to be subject to erosion, slope instability, or subsidence – refer Part 5D of the Plan

Yes No

If yes, a geotechnical assessment from a suitably qualified person may be required to be provided with the application.

Is the subject site contaminated; have chemicals been stored/sprayed used previously on the site (e.g. formerly used for horticultural purposes, or industrial activities) – refer Part 5E of the Plan.

Yes No

If yes, a soil contamination assessment from a suitably qualified person may be required to be provided with the application.

Are there high tension electricity powerlines (lines and/or pylons) over or adjacent to the subject site?

Yes No

If yes, confirmation from a suitably qualified person may be required that any proposed buildings / earthworks complies with the required clearance requirements (contact Transpower on 0800 843 474 if you require further information)

Does the proposal involve significant earthworks- refer Part 4A and relevant zone rules.

Yes No

If yes, a site management plan may be required to be provided with the application, this should detail (but not limited to) the following: sediment and erosion control plan; timelines, noise and dust controls; hours of operation.

Does either the site and /or proposal involve the storage or use of hazardous substances?

Yes No

If yes, provide an appropriate assessment in terms of the matrix in Part 5E of the Plan.

Does the proposal comply with the noise controls of the Plan?

Yes No

Refer Part 4A and relevant zone rules. If the proposal complies confirm this. Particularly for childcare centres, taverns and complex construction projects a report from a suitably qualified consultant with recommendations and mitigation measures may be required.

Is the site situated in the Business 2 or 3 zone?

Yes No

Refer Part 4B of the Plan – a financial contribution will be payable for any additional floor area, this is separate to the required development contribution.

Does the site contain any scheduled items and/or heritage areas?

Yes No

Refer Part 5C, and Appendix 1, 2, 3 and 4 of the Plan – please contact Council's Heritage Department and discuss the proposal prior to the lodgement of the application.

Does the site have any archaeological or geological features on it?

Yes No

Refer Planning Map 2 and Part 5C of the Plan – seek input from the Council's Heritage division prior to submitted your application.

Does the proposal require the removal of, or works in the dripline of, any generally protected tree?

Yes No

Refer Part 5C of the Plan for details – indicate the trees on the site plan, the species and size, a report from a suitably qualified consultant with recommendations and mitigation measured may be required.

Does the proposal involve works to a street tree?

Yes No

Refer Part 5C of the Plan – Council's ACR Services' landowner approval will be required and it is recommended that approval is obtained prior to lodgement of the application.

Is the proposal for or part of a network utility service?

Yes No

If yes, provide adequate assessment of the proposal in relation to Part 4A.2 of the Plan. Technical reports may also be required.

Does the proposal include any signs?

Yes No

Identify these on the plans, including scale and type and provide an assessment.

SECTION 3

3.0 ZONE RULES

Refer to the specific zone requirements for your proposal:

- Part 7 – Residential Activity
- Part 8 – Business Zones and Mixed Use Activity
- Part 9 – Open Space and Recreation Activity
- Part 10 – Special

Where appropriate provide an assessment against the Objectives and Policies and Assessment Criteria.

Confirm compliance with or provide an assessment against the relevant Development Controls – include calculation tables.

SECTION 4

4.0 TRANSPORTATION (PART 12 OF THE PLAN)

Does the proposal comply with the parking and loading requirements for the activity?

Yes No

Provide a table showing existing and proposed requirements; and assess non-compliance as appropriate. If there is a shortfall a report from a suitably qualified consultant may be required.

Does the proposal comply with carpark dimensions, manoeuvring requirements and gradients of parking spaces and driveways?

Yes No

Show compliance and assess areas of non-compliance. A report from a suitably qualified consultant to address areas of non-compliance may be required.

Does the proposal involve works within the road reserve or will it result in a significant impact on the local roading network?

Yes No

Transport Assets approval should be sought prior to lodgement of the application

SECTION 5

5.0 SUBDIVISION RULES (PART 11 OF THE PLAN)

Is the site in a soakage area?

Yes No

Provide a soakage report from a suitably qualified consultant.

Is the proposal for a cross lease, unit title or company lease?

Yes No

Provide sufficient information to demonstrate that the buildings have existing use rights, comply with the district plan, or have resource consent.

Does the proposal require works on a neighbouring site?

Yes No

A right of entry consent from the owners of these sites is required.

SECTION 5

6.0 OTHER REQUIREMENTS AND OTHER LEGISLATION

Is the subject site located within the catchment of the Hauraki Gulf as defined by the Hauraki Gulf Marine Park Act?

Yes No

If yes, then the proposal needs to be assessed with regard to the recognition of national significance and management of the Hauraki Gulf (Sections 7 and 8) and included with the application.

Does the proposal involve a building listed on the New Zealand Historic Places Trust register?

Yes No

If yes, it is recommended you obtain NZHPT written approval prior to lodgement of the application.

Does the proposal involve access onto a State Highway or contain signs fronting a State Highway?

Yes No

NZTA approval will be required and it is recommended that approval is obtained prior to lodgement of the application.

Does the proposal involve works on land owned by the Council, e.g. a reserve or park?

Yes No

Council's ACR Policy landowner approval will be required and it is recommended that approval is obtained prior to lodgement of the application.

Does the proposal require the separation of or upgrading of any stormwater or water lines?

Yes No

Contact Council's Development Engineering team prior to lodgement of the application.

Does your Certificate of Title contain a limit as to parcels limitation?

Yes No

Obtain written confirmation from a registered surveyor that the boundary lines are accurate and the coverage calculations appropriate prior to lodgement of the application.

Will your proposal require the removal of a building line restriction from your Certificate of Title?

Yes No

Contact Council's Transport Department for more information.

20 January 2014

89442

Auckland Council
Resource Consents Processing Team
35 Graham Street
AUCKLAND CENTRAL

Attention Resource Consent Processing Officer

Dear Sir/Madam

**RESOURCE CONSENT APPLICATION FOR RESIDENTIAL DEVELOPMENT
AT 68 ASHBY AVENUE, GLENDOWIE
APPLICANT: LINDA MEE**

We, on behalf of the Applicant, wish to request that the enclosed application for Resource Consent to allow an additional dwelling to be transported onto the site and subdivided into two lots, be processed.

Attached as part of the application are the following:

1. Three bound and one unbound copies of the application under the Auckland Council District Plan {Auckland Isthmus Section}
2. 2 x A2 copies of Sheet 1 of the DCW Design Drawing for the development (to scale)
3. The completed Form A and 83
4. A cheque for \$3,500.00 to cover the deposit fee

I understand you have recently updated the Form A. We request that you accept the prior form as this has been completed by the Client and all the relevant information is included on the form.

It is requested that the applications be duly processed and should you have any queries please do not hesitate to contact me.

Yours faithfully
FRASER THOMAS LTD



GARY J BLYTH
Director

Encl
J:\89 Series\89442\AC let\140120 G10jan.doc

Attachment # 2b



21 March 2014

L Mee
53A Ascot Avenue
Remuera
Auckland 1050

Dear Sir/Madam

RESOURCE CONSENT APPLICATION – ADVICE OF DECISION

Application Number(s):	R/JSL/2014/271
Applicant:	L Mee
Proposed Activity(s):	Relocation of existing dwelling within site, new rear dwelling and subsequent two-lot free hold subdivision around the development.
Address:	68 Ashby Avenue, St Heliers, Auckland 1071

Following an assessment of your resource consent application under the Resource Management Act 1991 (RMA) and with reference the Auckland Council Plan (Auckland City Isthmus Plan), a decision has been made to approve your application.

For your reference, a copy of the decision is attached. It outlines the basis for the decision and any associated conditions.

If you disagree with the decision, or parts of it, you can lodge an objection with us or file an appeal with the Environment Court within 15 working days of receiving this decision.

Objections should be addressed to the Principal Planner Hearings and Resolutions - Central, Auckland Council at 35 Graham Street, Auckland. Information on "The Objection Process" can be found on our website www.aucklandcouncil.govt.nz (select "Building, Property and Consents", "Resource Consent" then "The process from application to decision" and finally "Objections to Council").

Information on the appeal process can be found on the Environment Court website www.justice.govt.nz/court/environment-court.

A final invoice will be sent shortly. No work is allowed to commence until all outstanding fees have been paid, as stated in the conditions of your consent.

If you have any queries, please contact Kelly Andrew phone 09 352 2728 or email Kelly.Andrew@aucklandcouncil.govt.nz and quote the application number above.

Yours faithfully,

Kim Rowe
Administrator
Central Resource Consenting and Compliance
RESOURCE CONSENTS

Decision on an Application for a Resource Consent under the Resource Management Act 1991



Application Number(s): R/JSL/2014/271
Applicant's Name: Linda Mee
Site Address: 68 Ashby Avenue, St Heliers, Auckland 1071
Legal Description: Lot 76 DP 44334
NZTM map reference: Easting: 1765820.11 / Northing: 5918151.85
Proposal: Relocation of existing dwelling within site, new rear dwelling and subsequent two-lot free hold subdivision around the development

I have read the application, supporting documents, and the report and recommendations on the consent application. I am satisfied that I have sufficient information to consider the matters required by the Resource Management Act 1991 (RMA) and make a decision under delegated authority on this application.

Land Use Consent

This requires resource consent for the following reasons:

Operative Plan

- The proposal involves the gradient of the first 4 meters of access to exceed 1 in 20 where a maximum grade of 1 in 7.1 is provided. Pursuant to Rule 12.8.2.1 of the District Plan, this is a **Discretionary activity**.
- The proposal involves the combined width of the two crossings to exceed 7 meters, where a combined width of 8.5m is provided (Rule 12.8.2.2 of the District Plan). Pursuant to Rule 12.9.1.1 of the District Plan, this is a **Restricted Discretionary activity**.
- The proposal involves reverse manoeuvring directly onto the road where four or more parking spaces gain access from a collector road. Pursuant to Rule 12.8.2.3 of the District Plan, this is a **Discretionary activity**.

Acting under delegated authority, under sections 104, and 104B this application is **GRANTED**.

Reasons

Under section 113 of the RMA the reasons for this decision are:

- In terms of section 104(1)(a), the actual or potential effects are acceptable and less than minor. In particular, the development is generally consistent with the surrounding urban environment and anticipated growth. The existing dwelling will remain on site but re-positioned only a short distance north and an additional single level dwelling proposed to the rear will be somewhat screened from the street.

Improving the first four meter grade of the driveway providing access to the rear dwelling would create adverse effects as opposed to any significant benefits to both users and other vehicular and pedestrian traffic. There will be no potential conflict between the two crossings and sufficient separation allows for safe and ease of pedestrian movement. The vehicle access arrangements can be accommodated by the road network without compromising its function, capacity or safety and any potential adverse effects are less than minor upon the wider vehicular and pedestrian environment.

The development is within the anticipated levels in terms of coverage and building in relation to boundary so visual effects in terms of form and scale are indiscernible from a complying situation. Fencing and vegetation around the periphery of the site also provide some screening. Overall, the development is acceptable and any adverse effects are less than minor.

- In terms of section 104(1)(b), the development is consistent with the objectives and policies of the District Plan, in particular the Residential 6a zone and relevant assessment criteria for discretionary activities.

Under the Proposed Auckland Unitary Plan, the subject site is zoned 'mixed housing suburban', which provides for moderate level of intensification, while retaining a relatively spacious quality consistent with a suburban residential character, compared to the Mixed Housing Urban and Terrace Housing and Apartment Buildings zones. Development within the zone will generally be two storey detached and attached housing in a variety of types and sizes to provide housing choice.

Outcomes under both plans are similar as each allows for medium density suburban character and amenity. Accordingly, no weighting assessment is required as the outcomes are the same under both plans.

- In terms of section 104(1)(c), other relevant matters have been considered. Conditions relate to standard earthworks, construction and access. A development contribution is applicable under the Auckland Council Development Contributions Policy.

- In terms of Part 2, the development is consistent with both the objectives and policies of the District Plan and as such, the sustainable management approach of the Act in that it is an efficient use of an existing resource and designed in a way that considers both the natural and physical environment.

Conditions

Under section 108 of the RMA, this consent is subject to the following conditions:

General Conditions

1. The activity shall be carried out in accordance with the plans and all information submitted with the application, detailed below, and all referenced by the Council as consent number R/JSL/2014/271.
 - Application Form, and Assessment of Effects prepared by Fraser Thomas Ltd, dated January 2014;
 - Specialist Reports as detailed below, and additional information.

Specialist Report Title	Prepared by	Rev	Dated
Geotechnical Investigation Report	Fraser Thomas Ltd	Ref 62421	January 2014
Traffic Engineering Assessment	TPC – Traffic Planning Consultants Ltd	Ref 14040	4 March 2014
Additional Info – Details (Erosion and Sediment Control)	BCW Design Ltd	Ref 13070, Sheet 16	24.02.2014
Additional Info – Details (Erosion and Sediment Control)	BCW Design Ltd	Ref 13070, Sheet 17	24.02.2014

Drawing reference number	Title	Architect / Author	Dated
Ref 89442/SP	<i>Proposed Subdivision of Lot 76 DP 44334</i>	Fraser Thomas Ltd	18/12/13
Job No 13070, Sheet 1, Rev 1	<i>Site Layout at 68 Ashby Avenue for Mungus Ltd</i>	BCW Design Ltd	24.02.2014
Job No 13070, Sheet 1a, Rev 1	<i>Earthworks Plan at 68 Ashby Avenue for Mungus Ltd</i>	BCW Design Ltd	24.02.2014
Job No 13070, Sheet 2	<i>On-Site Relocation at 68 Ashby Avenue – St Heliers for Mungus Ltd</i>	BCW Design Ltd	24.02.2014
Job No 13070, Sheet 4	<i>On-Site Relocation at 68 Ashby Avenue – St Heliers for Mungus Ltd</i>	BCW Design Ltd	24.02.2014

Job No 13070, Sheet 5	<i>On-Site Relocation at 68 Ashby Avenue – St Heliers for Mungus Ltd</i>	BCW Design Ltd	24.02.2014
Job No 13070, Sheet 6	<i>Proposed House Relocation to 68 Ashby Avenue – St Heliers for Mungus Ltd</i>	BCW Design Ltd	24.02.2014
Job No 13070, Sheet 8, Rev 1	<i>Proposed House Relocation to 68 Ashby Avenue – St Heliers for Mungus Ltd</i>	BCW Design Ltd	24.02.2014
Job No 13070, Sheet 9, Rev 1	<i>Proposed House Relocation to 68 Ashby Avenue – St Heliers for Mungus Ltd</i>	BCW Design Ltd	24.02.2014

2. This consent (or any part thereof) shall not commence until such time as the following charges, which are owing at the time the Council's decision is notified, have been paid in full:
- a. All fixed charges relating to the receiving, processing and granting of this resource consent under section 36(1) of the Resource Management Act 1991 (RMA); and
 - b. All additional charges imposed under section 36(3) of the RMA to enable the Council to recover its actual and reasonable costs in respect of this application, which are beyond challenge.
3. The consent holder shall pay any subsequent further charges imposed under section 36 of the RMA relating to the receiving, processing and granting of this resource consent within 20 days of receipt of notification of a requirement to pay the same, provided that, in the case of any additional charges under section 36(3) of the RMA that are subject to challenge, the consent holder shall pay such amount as is determined by that process to be due and owing, within 20 days of receipt of the relevant decision.

Advice Note:

Development contributions levied under the Local Government Act 2002 are payable in relation to this application. The consent holder will be advised of the development contributions payable separately from this resource consent decision. Further information about development contributions may be found on the Auckland Council website at www.aucklandcouncil.govt.nz.

4. Under section 125 of the RMA, this consent lapses five years after the date it is granted unless:
- a. The consent is given effect to; or
 - b. The Council extends the period after which the consent lapses.

5. The consent holder shall pay the Council an initial consent compliance monitoring charge of \$500.00 (inclusive of GST), plus any further monitoring charge or charges to recover the actual and reasonable costs that have been incurred to ensure compliance with the conditions attached to this consent.

Advice Note:

The initial monitoring charge is to cover the cost of inspecting the site, carrying out tests, reviewing conditions, updating files, etc, all being work to ensure compliance with the resource consent. In order to recover actual and reasonable costs, inspections, in excess of those covered by the base fee paid, shall be charged at the relevant hourly rate applicable at the time. The consent holder will be advised of the further monitoring charge or charges as they fall due. Such further charges are to be paid within one month of the date of invoice. Only after all conditions of the resource consent have been met, will Council issue a letter confirming compliance on request of the consent holder.

Development in progress conditions

Construction

6. All construction, demolition and earthworks activities on the subject site shall comply with the New Zealand Standard 6803:1999 for Acoustics – Construction Noise at all times.

The use of noise generating tools, motorised equipment, and vehicles that are associated with construction and earthworks activity on the subject site shall therefore be restricted to between the following hours to comply with this standard:

Monday to Saturday: 7a.m. to 6p.m.

Sundays or Public Holidays: no works

7. There shall be no obstruction of access to public footpaths, berms, private properties, public services/utilities, or public reserves resulting from the construction and earthworks activity. All materials and equipment shall be stored within the subject site's boundaries.

Erosion and sediment control

8. All earthworks shall be managed to ensure that no debris, soil, silt, sediment or sediment-laden water is discharged from the subject site to either land, stormwater drainage systems, watercourses or receiving waters. In the event that a discharge occurs, works shall cease immediately and the discharge shall be mitigated, and/or rectified, to the satisfaction of the Team Leader, Compliance Monitoring Central.

Advice Note:

All earthworks shall be undertaken to ensure that all potential sediment discharges are appropriately managed. Such means and measures may include:

- *catchpit protection*
- *run-off diversions*
- *sediment retention ponds*
- *silt and sediment traps*
- *decanting earth bunds*
- *silt fences*

It is recommended that you discuss any potential measures with the Council's monitoring officer who will guide you on the most appropriate approach to take. Please contact the Team Leader, Compliance Monitoring Central for more details. Alternatively, please refer to "Auckland Regional Council, Technical Publication No. 90, Erosion & Sediment Control Guidelines for Land Disturbing Activities in the Auckland Region".

Formation of parking pad

9. A vehicle parking area suitable for two vehicles shall be formed, provided with an all weather surface, and drained for the front dwelling. A building consent is required for any private drainage.

Advice Notes

1. *Retaining walls over a certain height or carrying a surcharge require a Building Consent. Refer to the Building Code for requirements.*
2. *A copy of this consent shall be held on site at all times during the establishment and construction phase of the activity.*
3. *The consent holder is requested to notify Council, in writing, of their intention to begin works, a minimum of seven days prior to commencement. Such notification should be sent to the Resource Consent Monitoring Team Leader (email: rcmadmin@aucklandcouncil.govt.nz or fax: 353 9186) and include the following details:*
 - *name and telephone number of the project manager and the site owner*
 - *site address to which the consent relates*
 - *activity to which the consent relates*
 - *expected duration of works*

4. *This consent does not relieve the consent holder of his/her responsibility to apply for any other consents which may be required by the Auckland Council and/or New Zealand Historic Places Trust. This consent is issued under the Resource Management Act 1991 and does not remove the need to comply with all other applicable Acts (including the Property Law Act), regulations, Bylaws, and rules of law.*
5. *The scope of this resource consent is defined by the application made to Auckland Council and all documentation supporting that application.*
6. *If you disagree with any of the above conditions, or disagree with the additional charges relating to the processing of the application you have a right of objection pursuant to sections 357A or 357B of the Resource Management Act 1991. Any objection must be made in writing to Council within 15 working days of notification of the decision.*

Subdivision Consent

This requires resource consent for the following reasons:

Operative Plan

Under the subdivision rules (part 11.5.2.2) of the Auckland Council District Plan (Auckland City Isthmus Section 1999), Subdivision around existing or approved development requires a discretionary activity consent.

Land Use infringement also arise as part of the creation of the internal boundaries as follows:

- The 35% maximum building coverage control (Rule 7.8.1.4 of the Operative District Plan) as it applies to this zone is infringed on **Lot 1** by 5.6% or 24.86m², with 156.1m² allowed and 180.96m² or 40.57% proposed. Pursuant to Rule 4.3.1.2B, this is a **Discretionary activity**.
- The 40% minimum landscaped permeable surface control (Rule 7.8.1.5 of the Operative District Plan) as it applies to this zone is infringed on **Lot 2** by 1.4% or 5.5m², with 158.8m² required and 153.3m² or 38.61% proposed. Pursuant to Rule 4.3.1.2B, this is a **Discretionary activity**.
- The 25% maximum paved impermeable surface control (Rule 7.8.1.6 of the Operative District Plan) as it applies to this zone is infringed on **Lot 2** by 1.4% or 5.4m², being offset by a 6.1% reduction in building coverage where 124.7m² is allowed and 130.1m² or 32.8% is proposed. Pursuant to Rule 4.3.1.2B, this is a **Discretionary activity**.

- The 2m + 45° building in relation to boundary control (Rule 7.8.1.3b of the Operative District Plan) is infringed on Lot 1 by a maximum vertical height of 1.7m reducing to 0.30m over a maximum horizontal length of 7.7m as it relates to the eastern (internal) boundary. Pursuant to Rule 4.3.1.2B, this is a **Discretionary activity**.

Acting under delegated authority, under sections 104, 104B this application is **GRANTED**.

Reasons

Under section 113 of the RMA the reasons for this decision are:

- In terms of section 104(1)(a), the actual or potential effects are acceptable and less than minor. The development provides adequate provision for the disposal of stormwater and wastewater, and adequate vehicle access for each lot. The newly created sites are of sufficient size and dimension so that each generally complies with a majority of the development controls for the zone and an appropriate level of amenity is achieved on site. As such, the development is generally consistent with the surrounding urban environment and anticipated growth.

Overall, the actual and potential adverse effects are appropriate and the subdivision is suitable and in keeping with the surrounding environment.

- In terms of section 104(1)(b), the development is consistent with the relevant policy statements and plans or proposed plans, including the relevant objectives, policies and assessment criteria for the Residential 6a zone, subdivision and transportation. The subdivision provides for growth while considering and maintaining characteristics of the natural and physical environment.
- In terms of section 104(1)(c), other relevant matters have been considered. Conditions relate to the creation and servicing of the lots including the provision of wastewater and stormwater, access and relevant easements. A development contribution is applicable under the Auckland Council Development Contributions Policy.
- In terms of Part 2, the development is consistent with both the objectives and policies of the District Plan and as such, the sustainable management approach of the Act in that it is an efficient use of an existing resource and designed in a way that considers both the natural and physical environment.

Conditions

Under section 108 and 220 of the RMA, this consent is subject to the following conditions:

General Conditions

1. The activity shall be carried out in accordance with the plans and all information submitted with the application, detailed below, and all referenced by the Council as consent number R/JSL/2014/271.
 - Application Form, and Assessment of Effects prepared by Fraser Thomas Ltd, dated January 2014;
 - Specialist Reports as detailed below, and additional information.

Specialist Report Title	Prepared by	Rev	Dated
Geotechnical Investigation Report	Fraser Thomas Ltd	Ref 62421	January 2014
Traffic Engineering Assessment	TPC – Traffic Planning Consultants Ltd	Ref 14040	4 March 2014
Additional Info – Details (Erosion and Sediment Control)	BCW Design Ltd	Ref 13070, Sheet 16	24.02.2014
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Drawing reference number	Title	Architect / Author	Dated
Ref 89442/SP	<i>Proposed Subdivision of Lot 76 DP 44334</i>	Fraser Thomas Ltd	18/12/13
Job No 13070, Sheet 1, Rev 1	<i>Site Layout at 68 Ashby Avenue for Mungus Ltd</i>	BCW Design Ltd	24.02.2014

2. This consent (or any part thereof) shall not commence until such time as the following charges, which are owing at the time the Council's decision is notified, have been paid in full:
 - b. All fixed charges relating to the receiving, processing and granting of this resource consent under section 36(1) of the Resource Management Act 1991 (RMA); and
 - c. All additional charges imposed under section 36(3) of the RMA to enable the Council to recover its actual and reasonable costs in respect of this application, which are beyond challenge.

3. The consent holder shall pay any subsequent further charges imposed under section 36 of the RMA relating to the receiving, processing and granting of this resource consent within 20 days of receipt of notification of a requirement to pay the same, provided that, in the case of any additional charges under section 36(3) of the RMA that are subject to challenge, the consent holder shall pay such amount as is determined by that process to be due and owing, within 20 days of receipt of the relevant decision.

Advice Note:

Development contributions levied under the Local Government Act 2002 are payable in relation to this application. The consent holder will be advised of the development contributions payable separately from this resource consent decision. Further information about development contributions may be found on the Auckland Council website at www.aucklandcouncil.govt.nz.

Survey Plan Approval (s223) Conditions

4. That drainage and services easements labelled 'A', 'B' and 'C' be granted or reserved.

Section 224(c) Compliance Conditions

5. That a certificate pursuant to section 224(c) of the Resource Management Act will not be issued until conditions **5.1 to 5.9** have been met to the satisfaction of the Council and at the applicants expense.

Wastewater

- 5.1 All the necessary pipes and ancillary equipment shall be supplied and laid to provide an individual private wastewater connection to Lot 2 and connect it to the existing public wastewater manhole located on Lot 1 via easement 'B'.

A Building Consent is required. The connection shall be marked by a 50mm x 50mm x 1m tanalised painted red stake on completion and clearly dimensioned on any drainage "As-Built".

Existing wastewater connection

- 5.2 The existing private wastewater connection serving Lot 1 shall be assessed for its condition and exact location. The applicant shall demonstrate to Council before the issue of the 224c certificate that the condition of the existing connection is acceptable. A CCTV with log sheets shall be submitted to Auckland Council Development Engineering (CBD), to check the suitability of the existing connection.

Note: In case of poor condition of the existing connection, building consent will be required for new connection or upgrading the existing connection.

Stormwater

- 5.3 All the necessary pipes and ancillary equipment shall be supplied and laid to provide a stormwater private connection to Lot 1 and connect it to the public stormwater line located within Lot 2.

A Building Consent is required. The connection shall be marked by a 50mm x 50mm x 1m tanalised painted blue stake on completion and clearly dimensioned on any drainage "As-Built".

Existing stormwater connection

- 5.4 The existing private stormwater connection serving Lot 2 shall be assessed for its condition and exact location. The applicant shall demonstrate to council before the issue of 224c certificate that the condition of the existing connection is acceptable. A CCTV with log sheets shall be submitted to Auckland Council Development Engineering (CBD), to check the suitability of the existing connection.

= new

Note: In case of poor condition of the existing connection, building consent will be required for new connection or upgrading the existing connection.

Relocation of existing dwelling

- 5.5 The existing dwelling shall be relocated north within the site clear of all new boundaries which will include relocation and construction of the retaining wall and formation of access for Lot 2. Any other structures straddling boundaries are also required to be removed.

Private as- built drawings

- 5.6 With respect to conditions 5.1 – 5.5: the consent holder is advised that a Section 224(c) Certificate will not be issued until a Code Compliance Certificate has been issued for the private drainage works, OR a copy of the Auckland City Council's Inspections Officer's sign off and drainlayer's signed "As-Built" drainage plan are provided to confirm that the drainage work has been completed and inspected to Councils satisfaction.

Parking Pad for Lot 1

- 5.7 A vehicle parking area suitable for two vehicles shall be constructed in front of the existing dwelling on Lot 1. A wheel stop shall be provided on the raised car parking pad to provide a barrier for vehicles. A building consent is required for the drainage.

Vehicle crossings

- 5.8 The existing vehicle crossing shall be widened to serve Lot 1 (as shown on the 'site layout plan' prepared by BCW Design Ltd. A Vehicle Crossing Permit is required to be obtained for these works. Please contact Auckland Transport for vehicle crossings on Phone (09) 353 3553 or refer to their website for standards and requirements: <http://www.aucklandtransport.govt.nz/moving-around/delays-roadworks/WorkingOnTheRoad/Pages/Vehicle-Crossing-Applications.aspx#inspections>
- 5.9 A new vehicle crossing shall be constructed to serve Lot 2. A Vehicle Crossing Permit is required to be obtained for these works. Please contact Auckland Transport for vehicle crossings on Phone (09) 353 3553 or refer to their website for standards and requirements: <http://www.aucklandtransport.govt.nz/moving-around/delays-roadworks/WorkingOnTheRoad/Pages/Vehicle-Crossing-Applications.aspx#inspections>
6. Under Section 125 of the RMA this resource consent (subdivision) will expire five years after the date of commencement of consent unless given effect to by lodging a survey plan (S223) in respect of the subdivision to the Council within the five year period. An extension of time may be applied for 3 months prior to this period in accordance with section 125(1)(b) of the Resource Management Act 1991
7. The Survey Plan must then be deposited with LINZ within 3 years of the Council granting approval under Section 223 to the above plan in accordance with S224(h) of the Act. If the plan is not deposited then the approval under S223 expires and the subdivision lapses.

Advice notes

- 1. All water supply connections to the Watercare supply main and shall be designed in accordance with Watercare's "Development and Connection Standards" and be made by a Watercare approved contractor. For details, please contact Watercare.*
- 2. Retaining walls over a certain height or carrying a surcharge require a Building Consent. Refer to the Building Code for requirements.*
- 3. Any provision being made for telecommunications, power or gas to this subdivision are to be underground and are to be to the requirements of the respective utility services.*

4. *Development may involve building over or adjacent to a Council Public stormwater/wastewater drain. A building consent shall be required for this work. A CCTV shall be required to be submitted to Auckland City as a part of building consent application. Diversion /replacement /bridging of the old public stormwater/wastewater drain may be required at the building consent stage. Works on public drains require an engineering plan approval.*
5. *Please note that a fee is payable upon lodgement of an application for the issue of a certificate pursuant to Section 224(c) of the Resource Management Act 1991 relating to this application. Please contact Auckland Council for the current fee.*
6. *Please attach copies of any Code Compliance Certificate(s) for the drainage work(s) or copies of the Auckland Council Inspections Officer's sign off and drainlayer's signed "As Built" drainage plans with the application for the issue of a certificate pursuant to Section 224(c) of the Resource Management Act 1991 relating to this application.*
7. *If you disagree with any of the above conditions, or with any additional charges relating to the processing of the application, you have a right of objection pursuant to Section 357 of the Resource Management Act 1991 which shall be made in writing to Council within 15 working days of notification of the decision. Council will as soon as practicable consider the objection at a hearing.*

Acting under delegated authority, Resource Consent R/JSU/2014/271 shall be granted subject to the conditions of consent specified above.

Author:

Name: Kelly Andrew

Title: Intermediate Planner, Resource Consents

Signed:



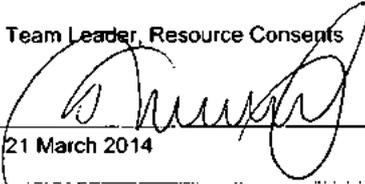
Date: 21 March 2014

Delegated decision maker:

Name: Liz Stewart

Title: Team Leader, Resource Consents

Signed:



Date: 21 March 2014

As built drainage plan



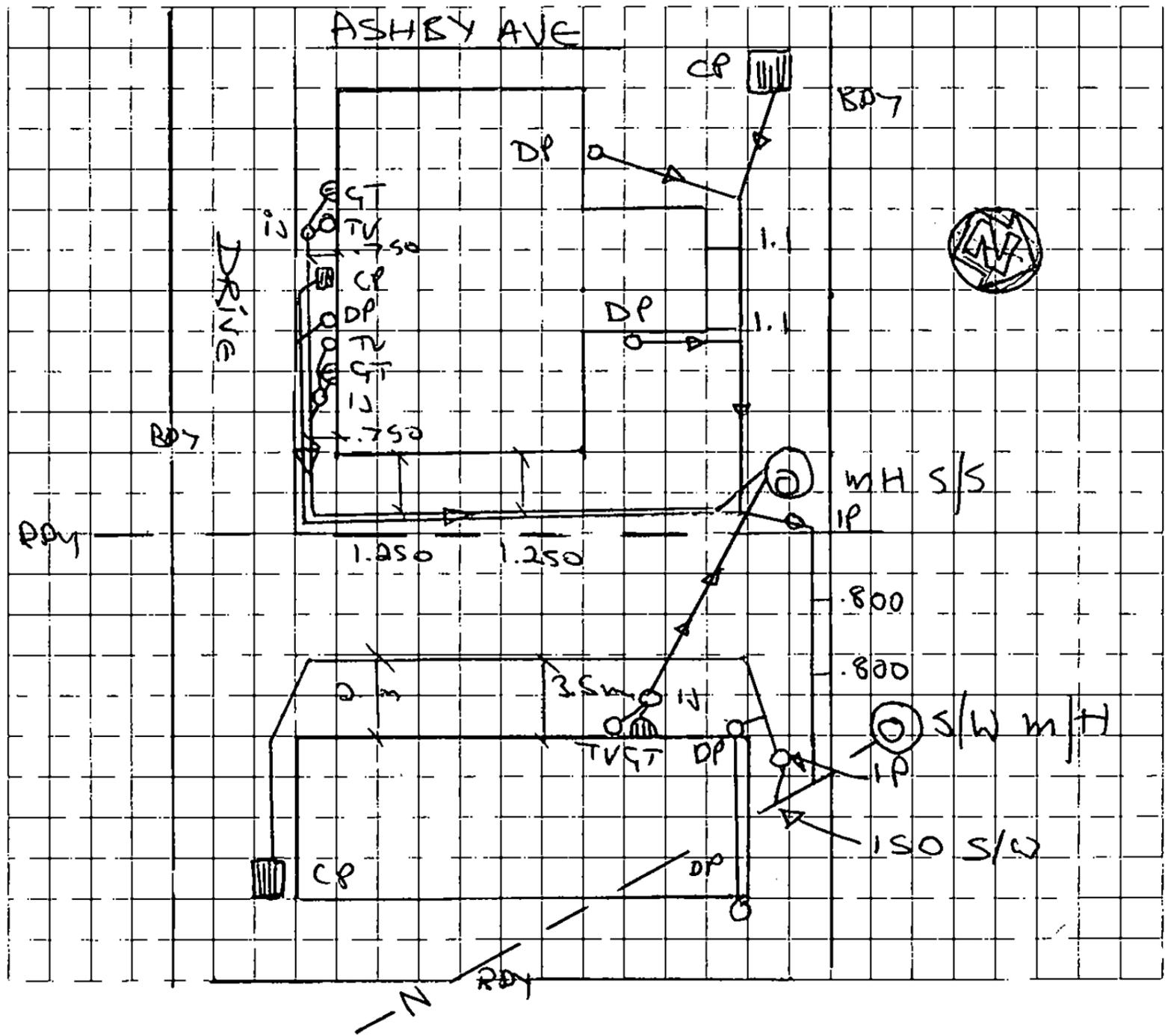
Building consent number: B/2014/4038 Owner: MIKE MCDGAW
 Street address: 68 ASHBY AVE ST HELIERS

Lot number: _____ DP number: _____
 Drainlayer: FOX DRAINAGE Registration number: 11111

Note: Please provide figures/measurements from a defined point of reference.

Date submitted: _____

Note: Use black ink for building outline. Denote stormwater as S/W..... and sanitary sewer as S/S.....



Inspection records

Page 9 of 16

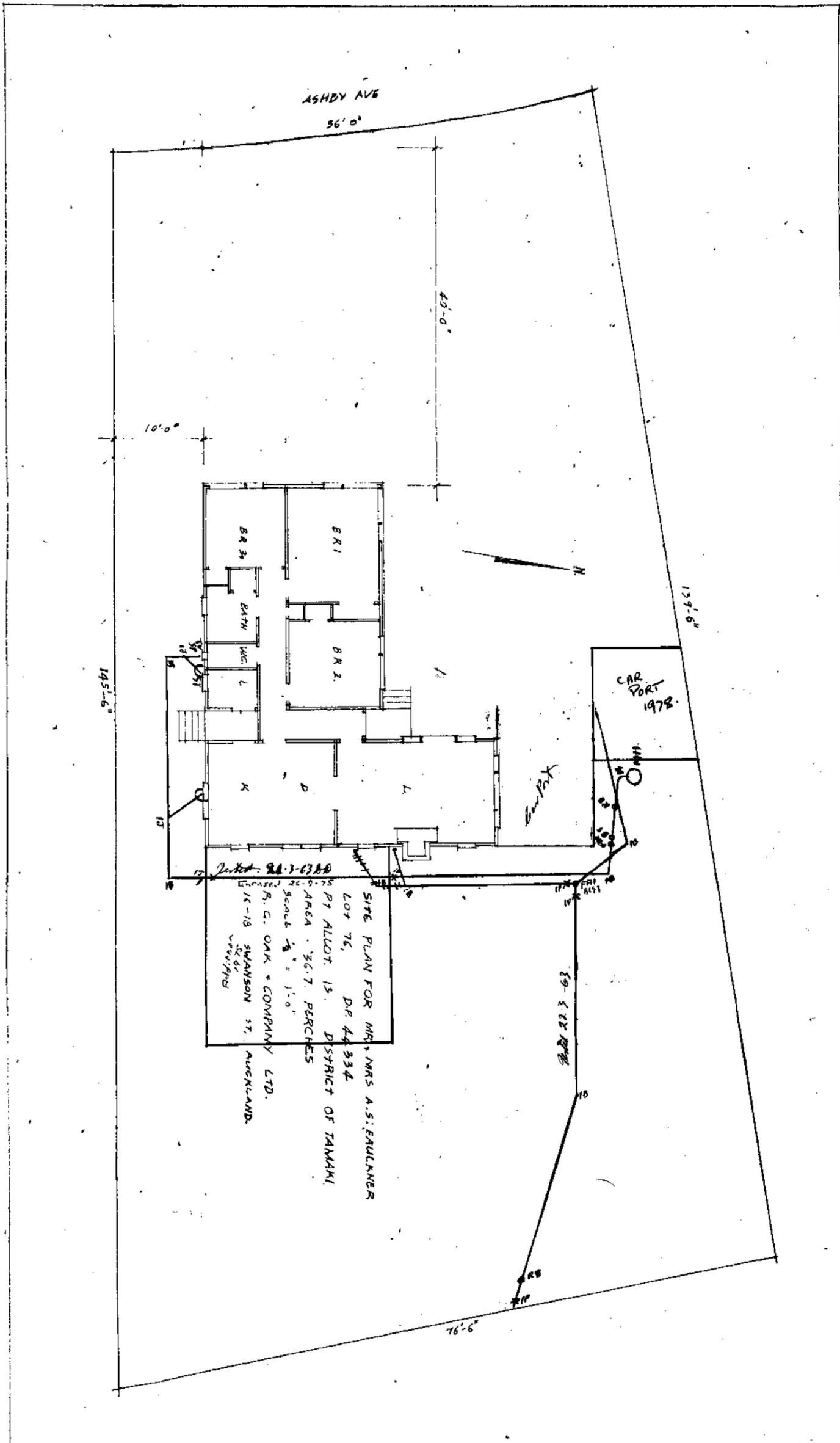
PRIVATE DRAINAGE PLAN

Site Address: 68 Ashby Avenue St Heliers Auckland 1071
 Date Printed: 02/11/2016
 Page: 1 of 2
 Not to scale



Note: This plan may contain errors or omissions. The information has been provided by contractors undertaking work for the property owner and exact locations have not been verified by Auckland Council. Please consult the relevant City Office if you have any queries regarding this plan.

A2



PRIVATE DRAINAGE PLAN

Site Address: 68 Ashby Avenue St Heliers Auckland 1071

Date Printed: 02/11/2016

Page: 2 of 2

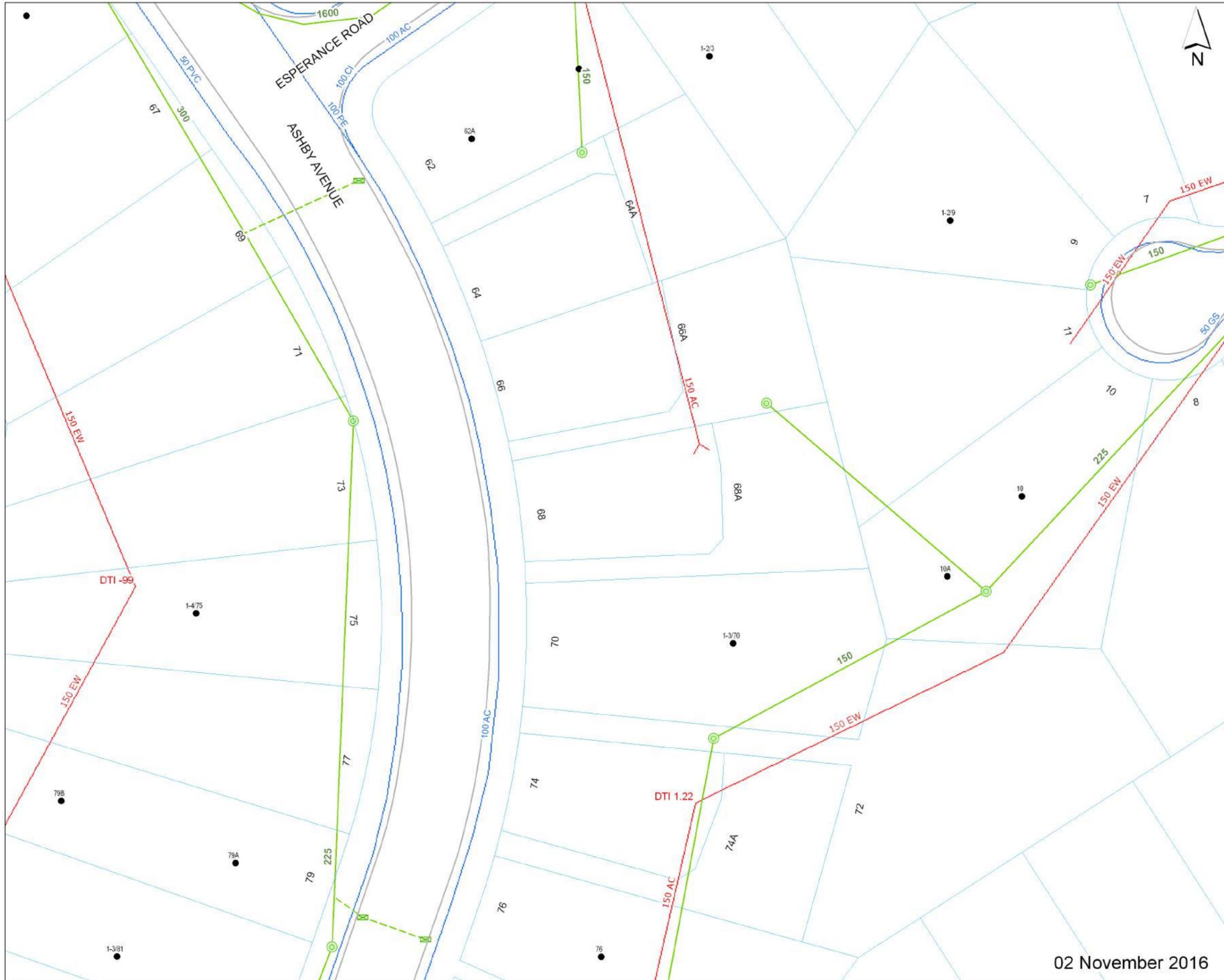
Not to scale

Note: This plan may contain errors or omissions. The information has been provided by contractors undertaking work for the property owner and exact locations have not been verified by Auckland Council. Please consult the relevant City Office if you have any queries regarding this plan.

Public Drainage and Water Services Map

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Legend

<ul style="list-style-type: none"> District Boundary 	<ul style="list-style-type: none"> Parcel Boundaries Rail Area
<p>Wastewater</p> <ul style="list-style-type: none"> W'sale Connections W'sale Built W'sale Out of Service W'sale Proposed W'sale Chamber Pumping Station Retail Pipe Connection Gater Air Vent Control Valve Gate Valve Reflux Valve Air Control Valve 	<ul style="list-style-type: none"> Air Valve Scour Valve Lampole Online Valve Joint Manhole Nodal Change Horizontal Bend Vertical Bend Strainer Reducer Anti Vacuum Backflow Preventor Node
<p>Water</p> <ul style="list-style-type: none"> Cross Junction Horizontal Bend Vertical Bend Test Point W/O Test Point Pressure Water Pipe T Junction End Cap Node Nodal Change Hydrant Peat Valve Control Valve Butterfly Valve Ball Valve Stuice Valve Air Valve Non Return Valve 	<ul style="list-style-type: none"> Gate Valve Reflux Valve Hydrant Scour Hydrant Air Pump Reducer Access Hole Bolt Down Access Hole Weld Down Sample Point Joint Probe Flow Point Water Wholesale Meter Strainer Tap W'sale Treated Built W'sale Raw Built W'sale Proposed W'sale Out of Service W'sale Tunnel Reservoir Treatment Plant
<p>Stormwater</p> <p>Treatment Device</p> <ul style="list-style-type: none"> Public Private <p>Septic Tank</p> <ul style="list-style-type: none"> Public - Hi-Tech Private - Hi-Tech Public - Other Private - Other <p>Soakage System</p> <ul style="list-style-type: none"> Public Private <p>Manhole And Chamber</p> <ul style="list-style-type: none"> Public - Standard/Custom Private - Standard/Custom Public - Inspection Chamber Private - Inspection Chamber <p>Inlet And Outlet</p> <ul style="list-style-type: none"> Public - No Structure Private - No Structure Public - Structure Private - Structure <p>Catchpit</p> <ul style="list-style-type: none"> Public Private <p>Spillway</p> <ul style="list-style-type: none"> Public Private <p>Pipe</p> <ul style="list-style-type: none"> Public - Gravity Mains Private - Gravity Mains Public - Culvert/Tunnel Private - Culvert/Tunnel Public - Rising Main Private - Rising Main Public - Subsoil Drain Private - Subsoil Drain <p>Fence</p> <ul style="list-style-type: none"> Public Private <p>Watercourse</p> <ul style="list-style-type: none"> Public Private 	<ul style="list-style-type: none"> Channel Public Private <p>Pump Station</p> <ul style="list-style-type: none"> Public Private <p>Planting</p> <ul style="list-style-type: none"> Public Private <p>Erosion And Flood Control</p> <ul style="list-style-type: none"> Public - Wall Structure Private - Wall Structure Public - Other Structure Private - Other Structure <p>Connection</p> <ul style="list-style-type: none"> Public Private <p>Overland Flowpath</p> <ul style="list-style-type: none"> Public Private <p>Viewing Platform</p> <ul style="list-style-type: none"> Public Private <p>Embankment</p> <ul style="list-style-type: none"> Public Private <p>Stormwater Treatment Facility</p> <ul style="list-style-type: none"> Public Private <p>Forebay</p> <ul style="list-style-type: none"> Public Private <p>Bridge</p> <ul style="list-style-type: none"> Public Private <p>Safety Benching</p> <ul style="list-style-type: none"> Public Private <p>Abandoned Connection</p> <ul style="list-style-type: none"> Public Private <p>Abandoned Pipe</p> <ul style="list-style-type: none"> Public - Gravity Mains Public - Culvert/Tunnel Public - Rising Main Public - Subsoil Drain

Site Address: 68 Ashby Avenue St Heliers Auckland 1071
 Legal Description: Lot 1 DP 480799 447m2
 Title Description: CT-672526
 Date Printed: 02 November 2016 12:02 PM

02 November 2016

10 0 10 20 30 40 50
Meters

A3 @ 1:500

Property boundary positions derived from aerial photography

**Operative District Plan - 1999
Isthmus Section
Planning Map 1
Zoning**

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Authorised District Plan Maps are located here:
<http://www.aucklandcity.govt.nz/council/documents/district/default.asp>

Legend

Isthmus Zoning Activities

Activity Zone

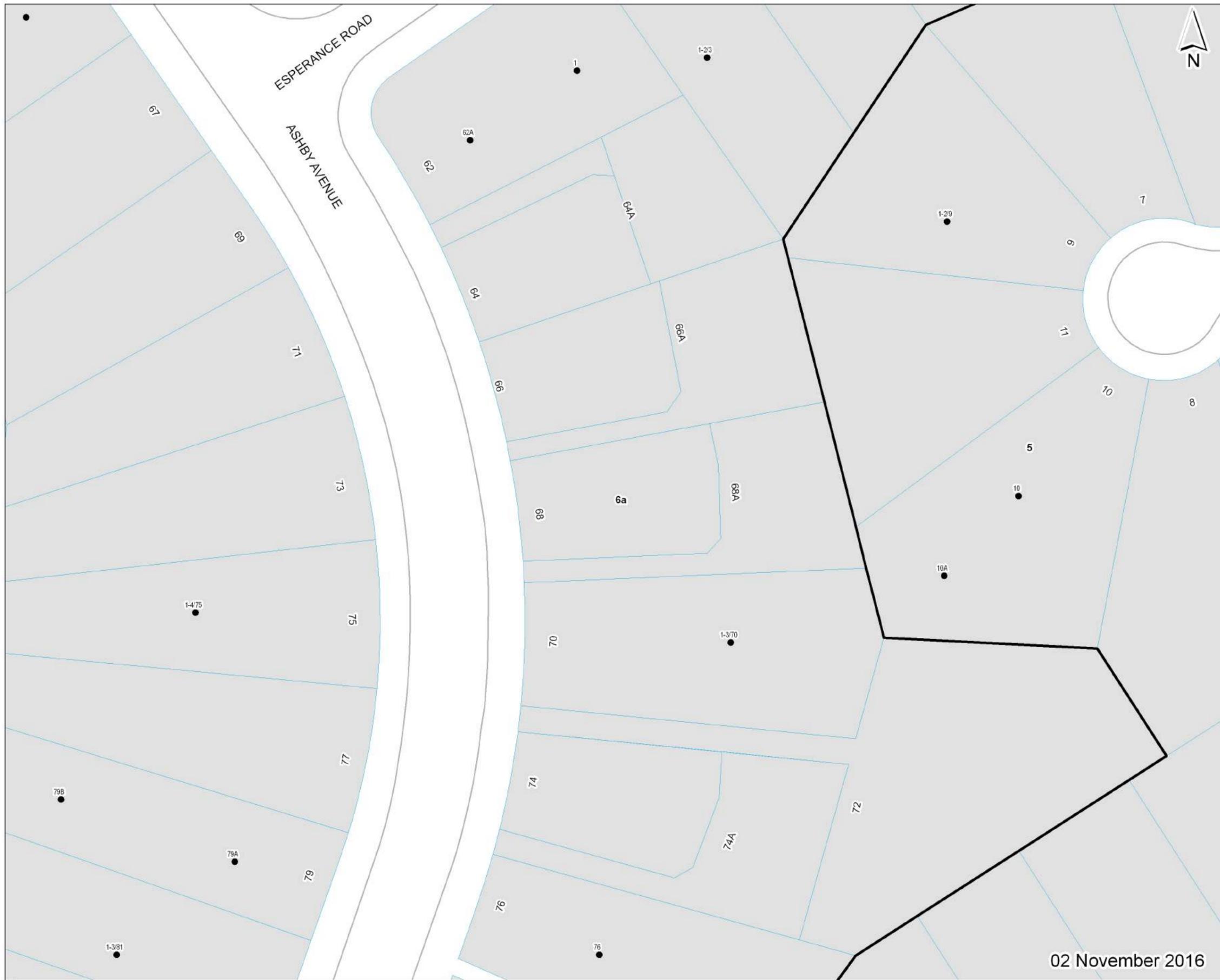
-  Residential
-  Business
-  Open Space
-  Special Purpose
-  Isthmus Zoning Boundary
-  Special Parking Zone locations

**District Plan Modification Affected line
Plan Change Process**

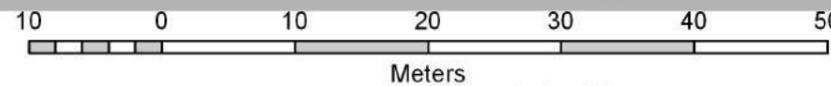
-  Notification
-  Lodgement
-  Submission
-  Appeals
-  Decisions

**District Plan Modification Area
Plan Change Process**

-  Notification
-  Lodgement
-  Submission
-  Appeals
-  Decisions



02 November 2016



A3 @ 1:500

Property boundary positions derived from aerial photography

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Operative District Plan - 1999
Isthmus Section
Map 2
Additional Limitation

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Legend

Heritage

-  Buildings
-  Groups of Trees (two or more)
-  Tree (singular)
-  Archaeological
-  Cliffline Tree Amenity
-  Geological
-  Interchange Control
-  Maori Heritage
-  Tamaki Scenic Way
-  Significant Site Line (Geological Features)
-  Electricity Tunnel
-  Microwave Transmission Corridor Location

Building Line Control

Class

-  Building Line Restriction
-  Interchange Control Area
-  Retail Frontage and Verandah Control
-  Special Yard Requirement
-  Vehicular Access Restriction
-  Verandah Control
-  Centre Plan
-  Structure Plan

Cliffline Tree Amenity Area

Tamaki Drive Scenic Way

Significant Site Extent

Class

-  Archaeological Features
-  Archaeological and Geological Features
-  Geological Features
-  Maori Heritage
-  Significant Ecological Area

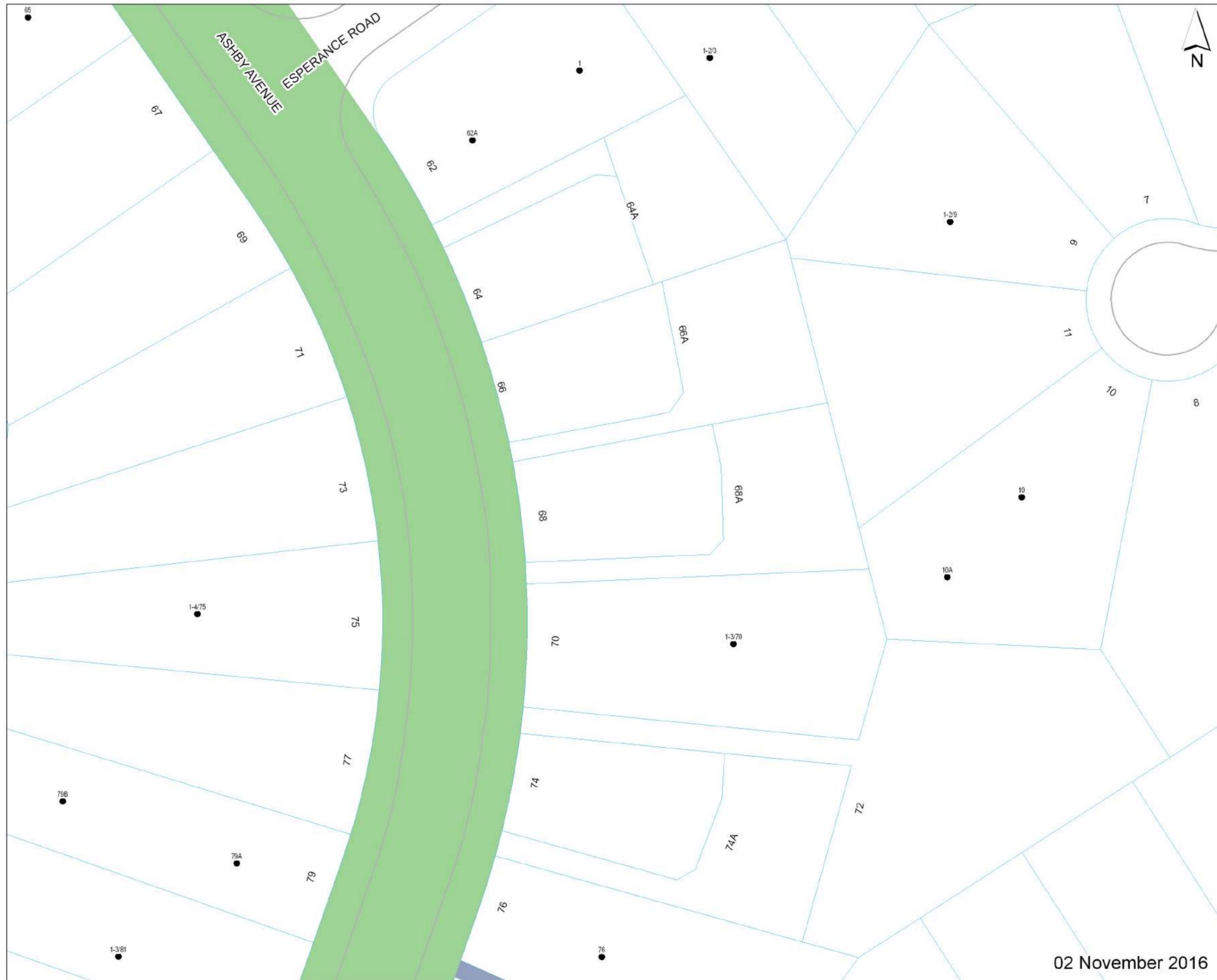
Site Development Controls

Class

-  Designated Works
-  Additional Development Controls
-  Former Landfill Areas

Road Designations

-  Arterial Roads
-  Collector Roads
-  District Arterial Roads
-  Footways
-  Pedestrian Malls
-  Regional Arterial Roads
-  Service Lanes
-  Strategic Routes



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10 0 10 20 30 40 50
Meters

A3 @ 1:500

Property boundary positions derived from aerial photography

**Operative District Plan - 1999
Isthmus Section
Map 3
Other Additional Limitation**

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Legend

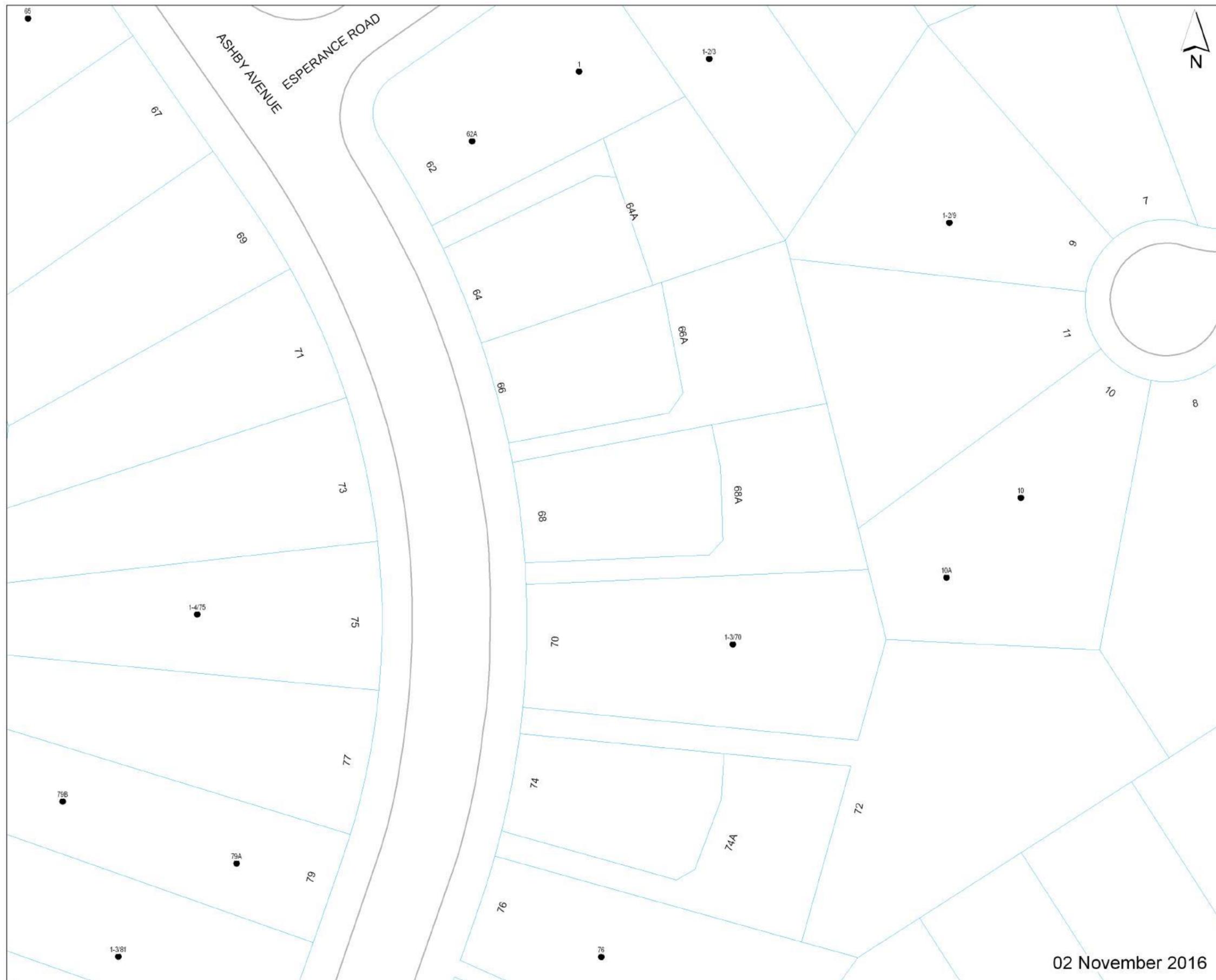
Other Addition Limitations

-  Airport Approach Slope Inner Edge
-  Coastal Management Areas

Special Height Controls

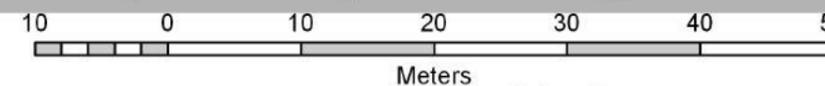
View Protections

-  Airport Approach
-  Dilworth Terrace Houses
-  Newmarket Viaduct Affected Areas - Harbour and Gulf
-  Newmarket Viaduct Affected Areas - Mt. Hobson
-  Onehunga Motorway Affected Areas
-  Special Height Limit
-  Sunlight Admission Control - Broadway
-  Volcanic Cones
-  War Memorial Museum



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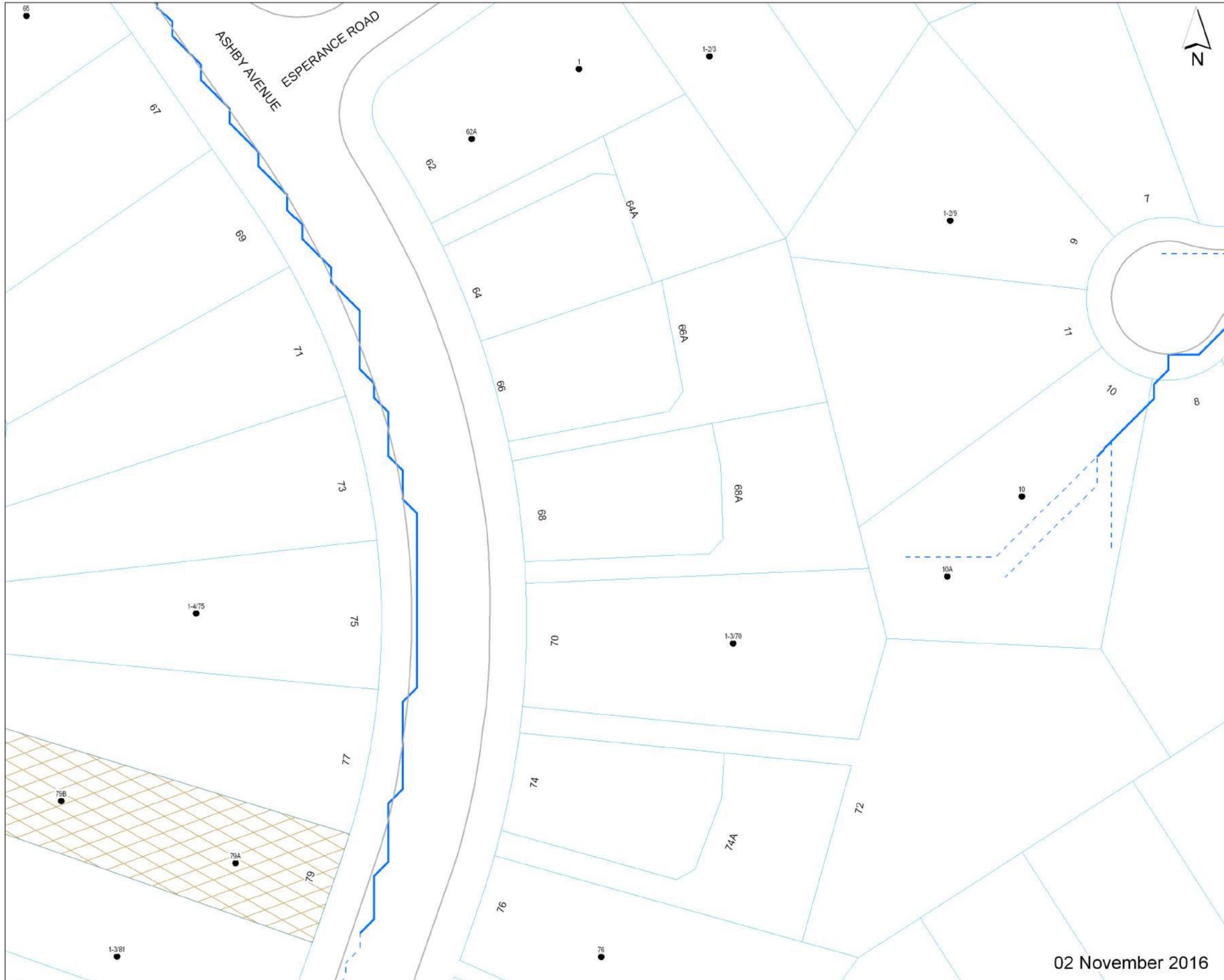
Special Land Features

DISCLAIMER:

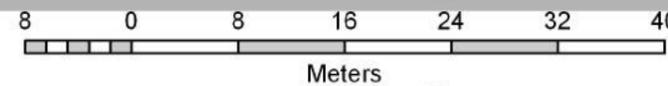
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Legend

-  Gas Main Pipeline
-  Petroleum Pipeline
-  Contaminated Sites
-  Soil Register
- Soil Warning area**
 -  Slippage/Subsidence/Erosion etc
 -  Uncertified Fill
 -  Organic Soil
 -  Filled/Weak Ground
 -  Refuse Tips Site/Weak Area
 -  Unstable/Suspected Ground
- Flood Plains**
 -  Flood Plains
- Overland Flow Path**
 -  2000m2 to 4000m2
 -  4000m2 to 3ha
 -  3ha and above
- Corrosion Exposure Zone**
- TYPE**
 -  Seaspray
 -  Seaspray baseline
 -  Seaspray exclusion
 -  Zone 1
 -  Zone 1 baseline
- Wind Zone**
- CLASS**
 -  Medium
 -  High
 -  Very High
 -  Specific Design
-  Volcanic Cones



02 November 2016



A3 @ 1:500

Property boundary positions derived from aerial photography

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Auckland Unitary Plan Decision version (19th August 2016) Property Summary Report

Address

68 Ashby Avenue St Heliers Auckland 1071

Legal Description

Lot 1 DP 480799 447m2

Appeals

Modifications

Zones

Residential - Mixed Housing Suburban Zone

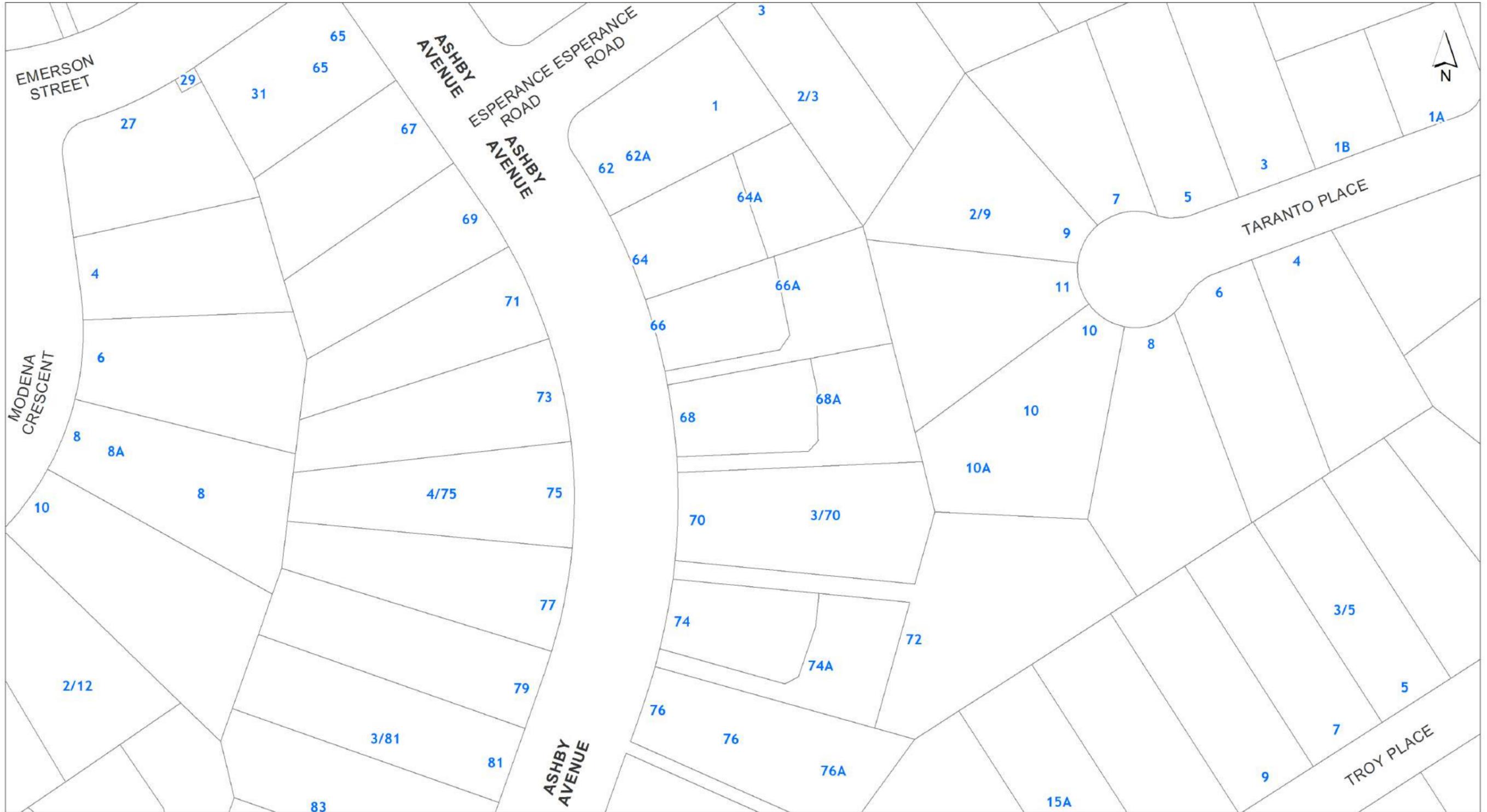
Precinct

Controls

Controls: Macroinvertebrate Community Index [rcp/dp] - Urban

Overlays

Designations



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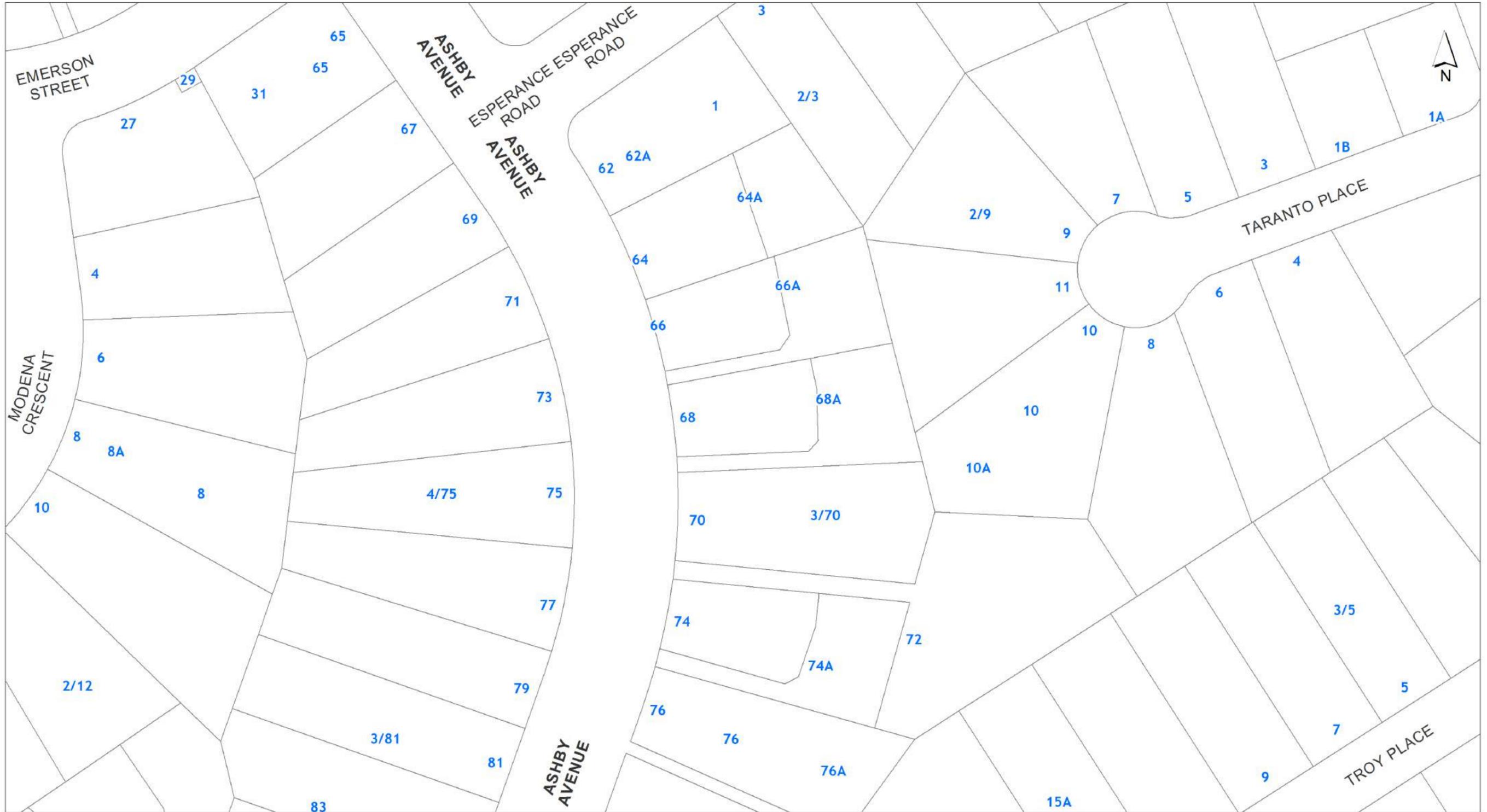
Decisions version Built Environment



Scale @ A4
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Date Printed:
2/11/2016





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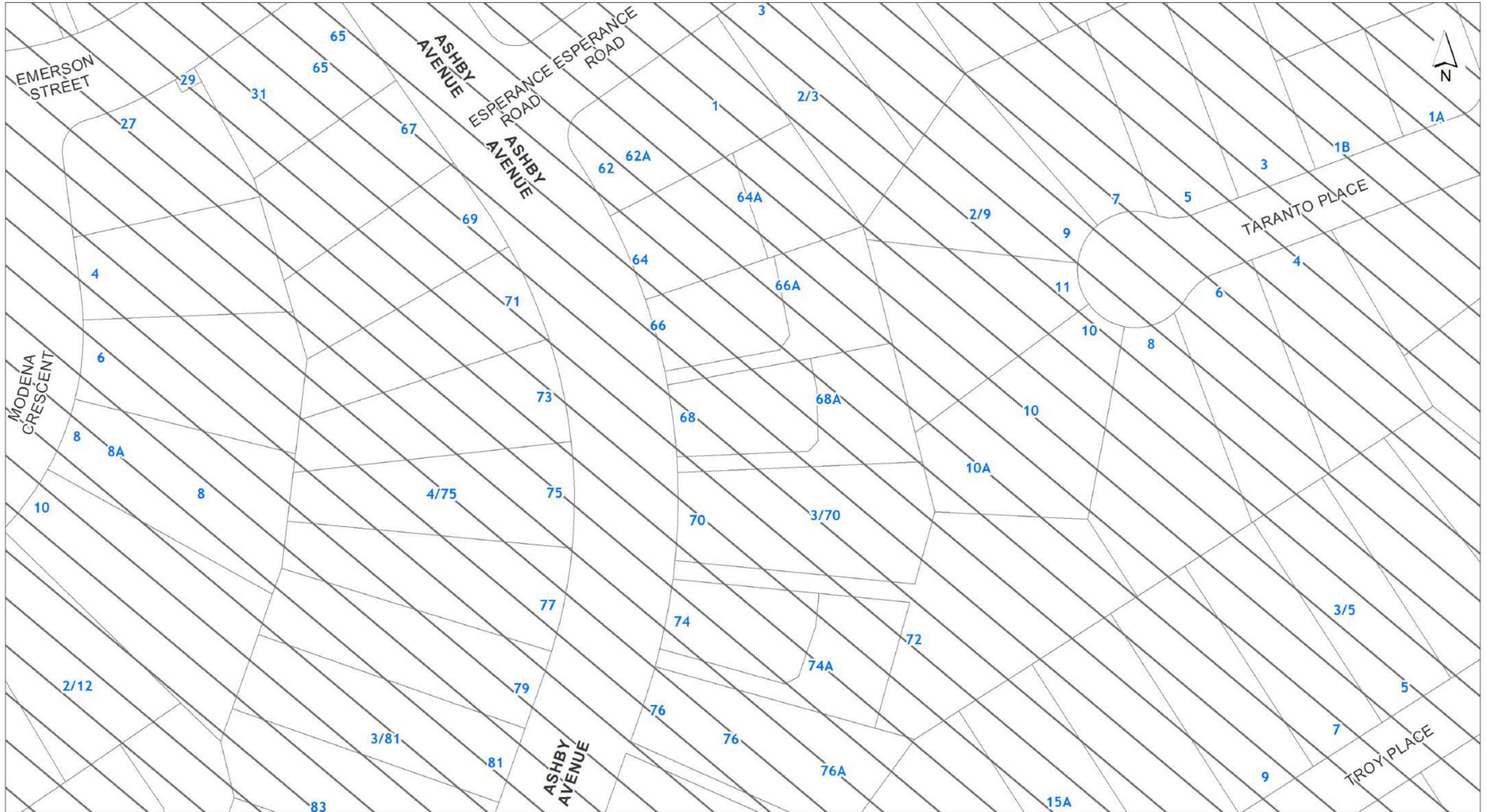
Decisions version Built Heritage and Character



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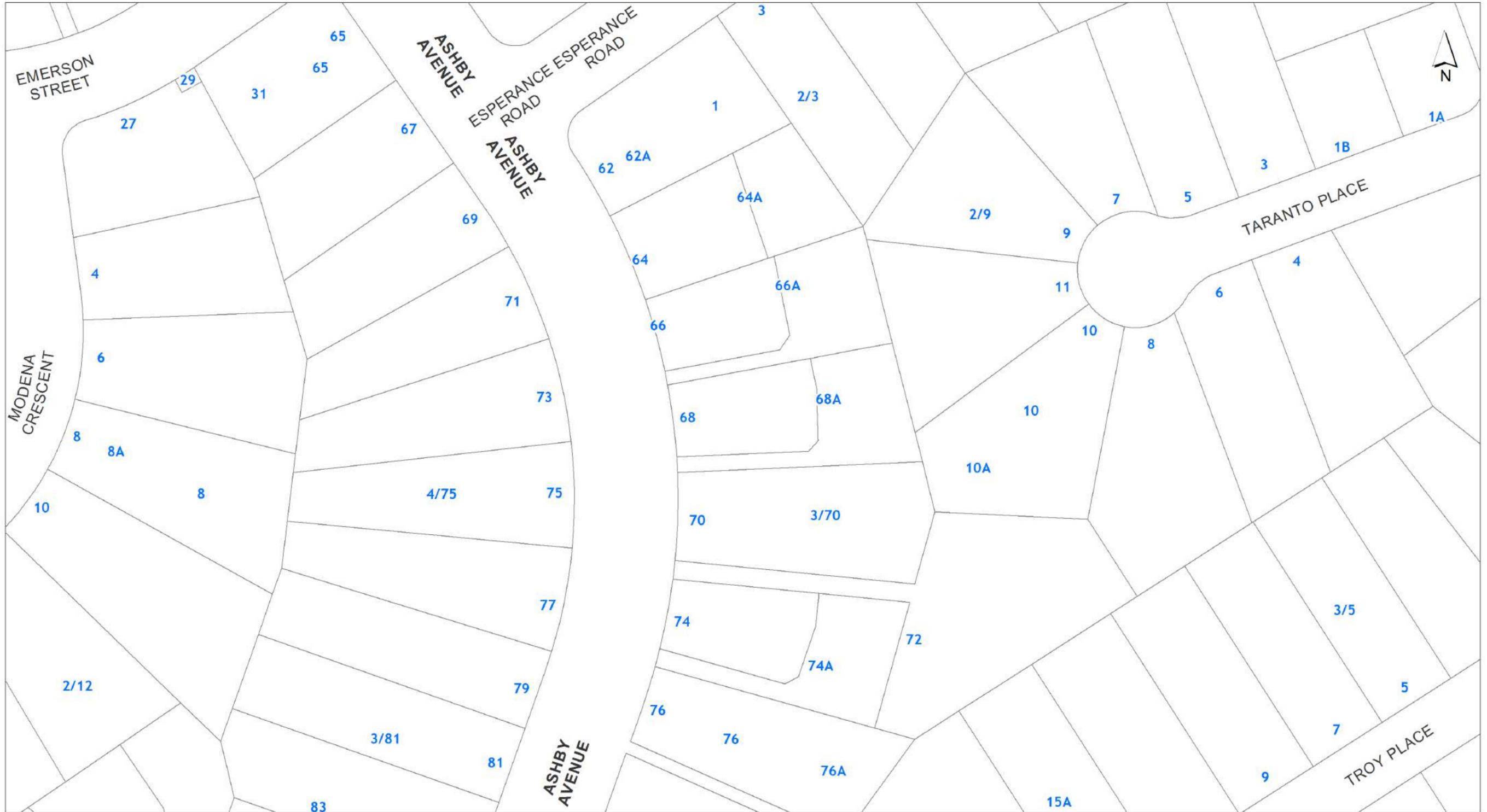
Decisions version Controls



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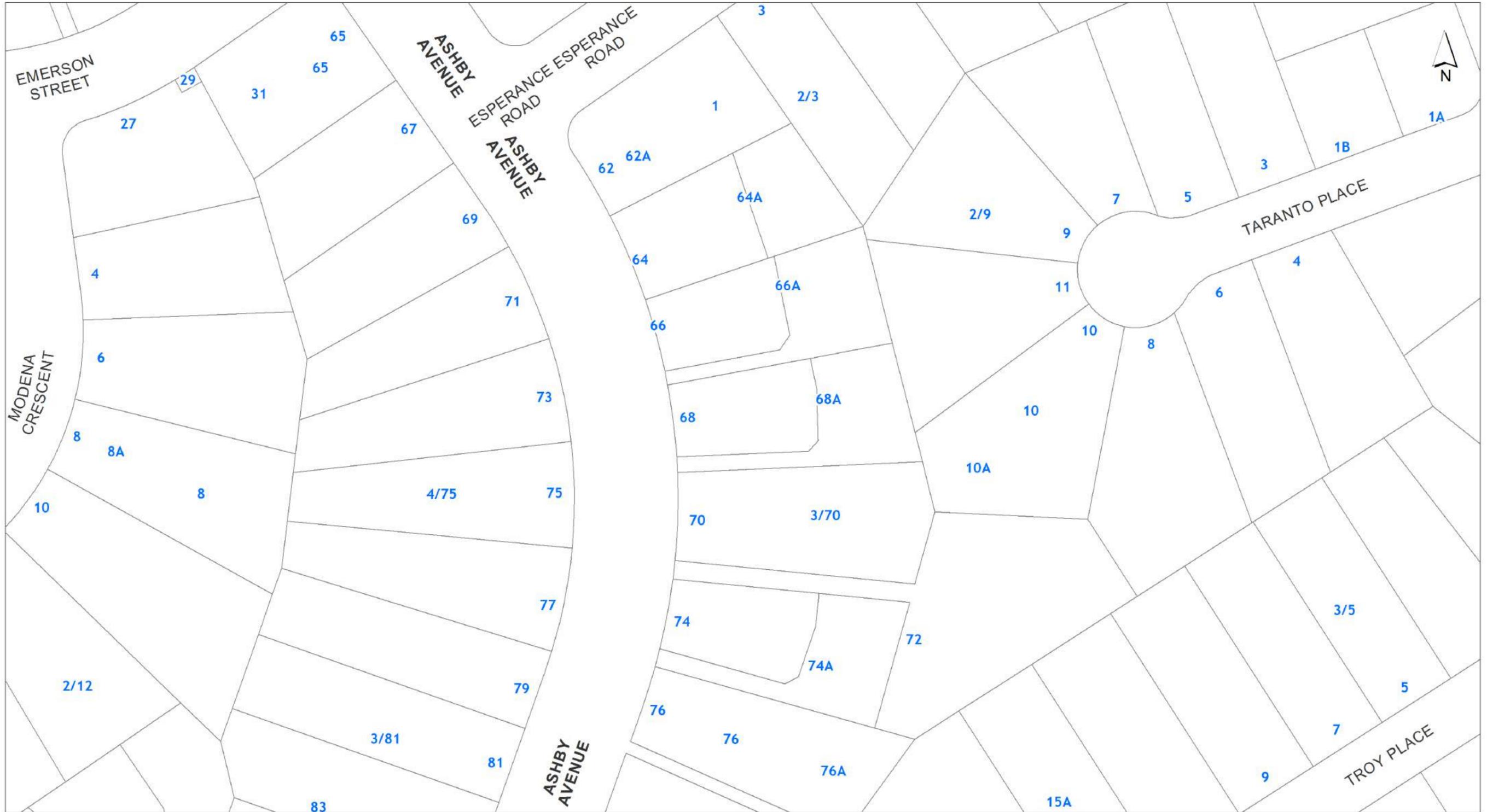
Decisions version Infrastructure



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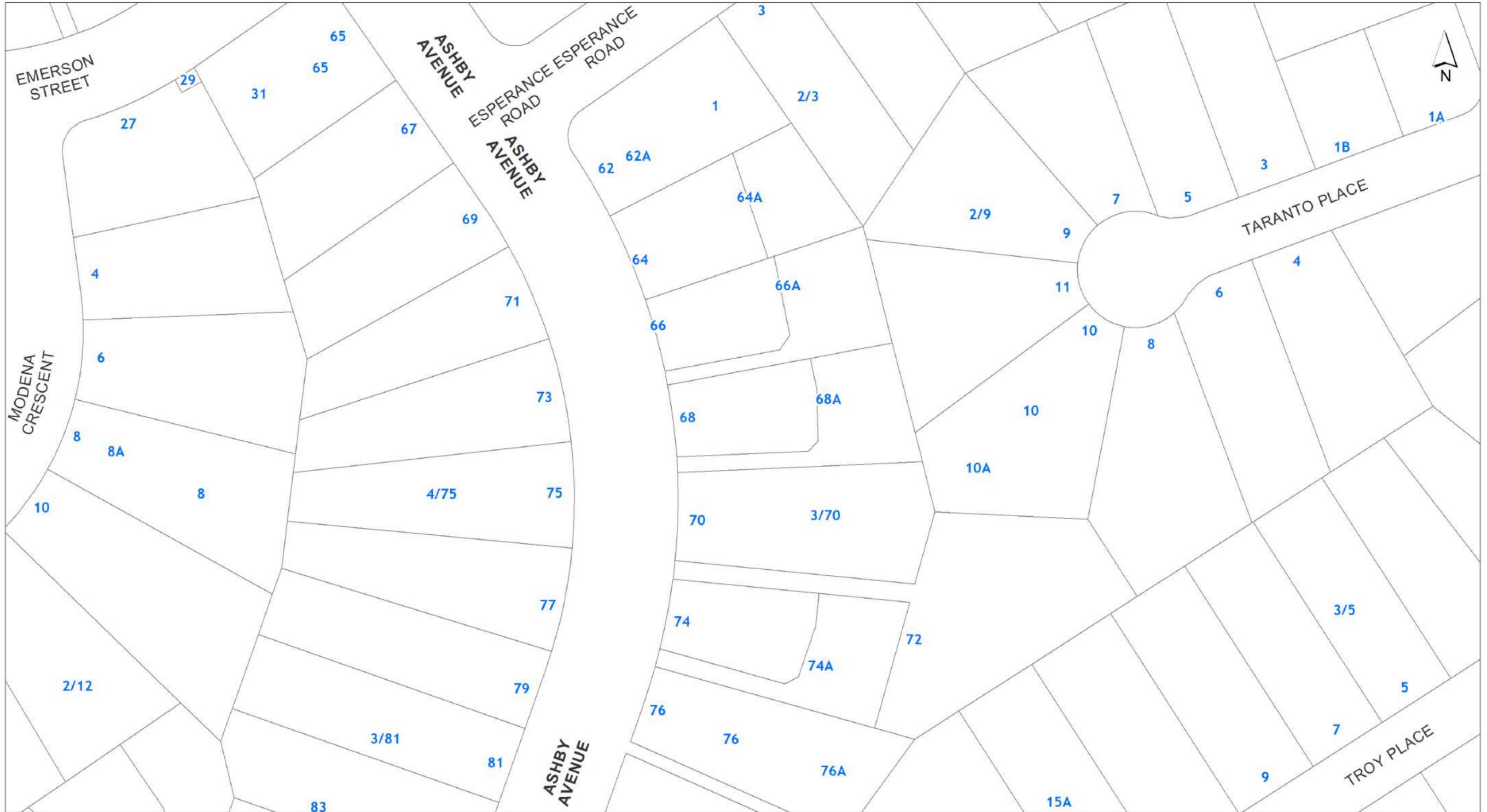
Decisions version Mana Whenua



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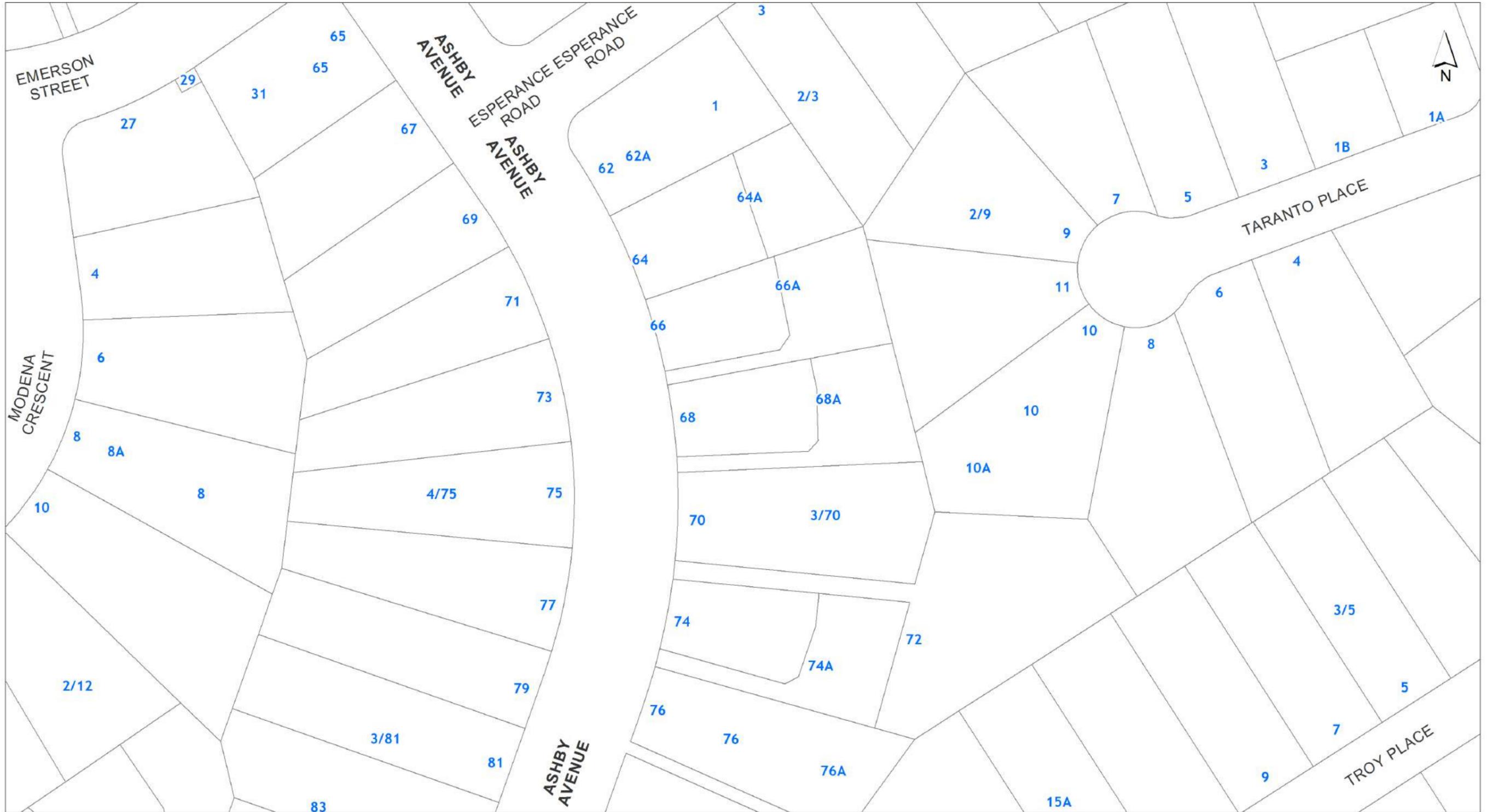
Decisions version Natural Heritage



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Decisions version Precincts



Scale @ A4
= 1:1,000

Date Printed:
2/11/2016



ZONING		OVERLAYS		CONTROLS		DESIGNATIONS					
Residential	Large Lot Zone	Natural Resources	Terrestrial [rp/dp]	Infrastructure	Built Environment	Business Park Zone Office Control	Designations				
	Rural and Coastal Settlement Zone		Marine 1 [rcp]					Aircraft Noise Overlay	Identified Growth Corridor Overlay	Height Variation Control	Airspace Restriction Designations
	Single House Zone		Marine 2 [rcp]					City Centre Port Noise Overlay		Cable Protection Areas Control [rcp]	
Business	Mixed Housing Suburban Zone	Open Space	Water Supply Management Areas Overlay [rp]	Mana Whenua	Built Environment	Centre Fringe Office Control Arterial Roads	Emergency Management Area Controls				
	Mixed Housing Urban Zone		Natural Stream Management Areas Overlay [rp]			Sites & Places of Significance to Mana Whenua Overlay [rcp/dp]		Level Crossings With Sightlines Control			
	Terrace Housing and Apartment Buildings Zone		High-Use Stream Management Areas Overlay [rp]			Identified Growth Corridor Overlay		Macroeconomic Community Index [rcp/dp]			
			Natural Lake Management Area Overlay					Parking Variation Control			
			Wetland Management Areas Overlay [rp]					Flow 1 [rp]			
			High-Use Aquifer Management Areas Overlay [rp]					Flow 2 [rp]			
			Quality-Sensitive Aquifer Management Areas Overlay [rp]					Subdivision Variation Control			
								Surf Breaks [rcp]			
Rural	Rural Production Zone	Business	Airport Approach Surface Overlay [rcp/dp]	Built Heritage & Character	Built Environment	Coastal Inundation Control [rcp/dp]	Precincts				
	Mixed Rural Zone		Aircraft Noise Overlay					Historic Heritage Overlay Extent of Place [rcp/dp]			
	Rural Coastal Zone		City Centre Port Noise Overlay					Historic Heritage Overlay Place [rcp/dp]			
Coastal	Rural Conservation Zone	Open Space	National Grid Corridor [rcp/dp]	Natural Heritage	Built Environment	Hazardous Facilities	Emergency Management Area Controls				
	Countryside Living Zone		National Grid Yard [rcp/dp]					Outstanding Natural Features Overlay [rcp/dp]			
	Waitakere Foothills Zone		Quarry Buffer Area Overlay					Outstanding Natural Landscapes Overlay [rcp/dp]			
	Waitakere Ranges Zone							Outstanding Natural Character Overlay [rcp/dp]			
								High Natural Character Overlay [rcp/dp]			
								Extent of Overlay			
								Subdivision Schedule			
								Viewshafts			
								Height Sensitive Areas			
								Locally Significant Volcanic Viewshafts Overlay [rcp/dp]			
New Growth	Future Urban Zone	Business	Wetland Management Areas Overlay [rp]	Natural Heritage	Built Environment	Level Crossings With Sightlines Control	Precincts				
	Green Infrastructure Corridor (Operative in some Special Housing Areas)		High-Use Aquifer Management Areas Overlay [rp]					Regionally Significant Volcanic Viewshafts & Height Sensitive Areas Overlays [rcp/dp]			
			Quality-Sensitive Aquifer Management Areas Overlay [rp]					Locally Significant Volcanic Viewshafts Overlay [rcp/dp]			
Rural	General Coastal Marine Zone [rcp]	Open Space	High-Use Aquifer Management Areas Overlay [rp]	Natural Heritage	Built Environment	Level Crossings With Sightlines Control	Precincts				
	Marina Zone [rcp/dp]		Quality-Sensitive Aquifer Management Areas Overlay [rp]					Modified Natural			
	Mooring Zone [rcp]							Ridgeline Protection Overlay			
	Minor Port Zone [rcp/dp]							Local Public Views Overlay [rcp/dp]			
	Ferry Terminal Zone [rcp/dp]										
	Defence Zone [rcp]										
	Coastal Transition Zone										
New Growth	Out of Scope Zone Changes	Business	Identified Growth Corridor Overlay	Natural Heritage	Built Environment	Level Crossings With Sightlines Control	Precincts				
	Strategic Transport Corridor Zone							Historic Heritage Overlay Extent of Place [rcp/dp]			
	Water [i]							Historic Heritage Overlay Place [rcp/dp]			
Rural	Rural Urban Boundary (RUB)	Open Space		Natural Heritage	Built Environment	Level Crossings With Sightlines Control	Precincts				
	Indicative Coastline [i]							Special Character Areas Overlay Residential and Business			
								Auckland War Memorial Museum Viewshaft Overlay Contours			
								Auckland War Memorial Museum Viewshaft Overlay			
								Dilworth Terrace Houses Viewshaft Overlay Contours			
								Dilworth Terrace Houses Viewshaft Overlay			

Auckland Council
 Proposed Auckland Unitary Plan
 Decisions Version
 (19 August 2016)

Tagging of Provisions:
 [i] = Information only
 [rp] = Regional Plan
 [rcp] = Regional Coastal Plan
 [rps] = Regional Policy Statement
 [dp] = District Plan (only noted when dual provisions apply)

Special Purpose Zone
 (Airports & Airfields, Cemetery, Quarry, Healthcare facility & Hospital, School, Tertiary Education, Maori Purpose, Major Recreation Facility)

Notable Trees Overlay
 Locally Significant Volcanic Viewshafts Overlay Contours [i]
 Regionally Significant Volcanic Viewshafts Overlay Contours [i]
 Outstanding Natural Features Overlay [rcp/dp]
 Outstanding Natural Landscapes Overlay [rcp/dp]
 Outstanding Natural Character Overlay [rcp/dp]
 High Natural Character Overlay [rcp/dp]
 Extent of Overlay
 Subdivision Schedule
 Viewshafts
 Height Sensitive Areas
 Locally Significant Volcanic Viewshafts Overlay [rcp/dp]
 Modified Natural
 Local Public Views Overlay [rcp/dp]

Coastal Inundation Control [rcp/dp]
 Hazardous Facilities
 Infrastructure
 Level Crossings With Sightlines Control
 Macroeconomic Community Index [rcp/dp]
 Parking Variation Control
 Flow 1 [rp]
 Flow 2 [rp]
 Subdivision Variation Control
 Surf Breaks [rcp]

Precincts

7. SCHOOL ZONES

Schools and schools zones relating to a property

The School Report provides detailed information on school zones, from Early Childhood Education through to Tertiary Institutions.

Street Address: 68 Ashby Avenue, St Heliers, Auckland

Zoned Schools for this Property

Primary / Intermediate Schools

ST IGNATIUS SCHOOL (ST HELIERS) 1.9 km

Secondary Schools

GLENDOWIE COLLEGE 0.9 km

Early Childhood Education

Acorn Early Learning Centre 2

54 Sierra Street
St Heliers
Auckland
Ph. 09-5752130

Distance: 0.3 km
20 Hours Free: Yes
Type: Education & Care Service
Authority: Privately Owned

Marshwood Montessori Pre-School

20 Mt Taylor Drive
Glendowie
Auckland
Ph. 09-5215288

Distance: 0.2 km
20 Hours Free: Yes
Type: Education & Care Service
Authority: Privately Owned

Small Fry Nursery School

1 Bermuda Road
St Heliers
Auckland
Ph. 09-5757809

Distance: 0.3 km
20 Hours Free: Yes
Type: Education & Care Service
Authority: Privately Owned

Te Kohanga Reo O Te Taurere

5 Navarre Road
Glendowie
Auckland
Ph. 09-5284944

Distance: 0.2 km
20 Hours Free: Yes
Type: Te Kohanga Reo
Authority: Community Based

Tkr O PuauTe Moananui AKiwa Kohungahunga

26 Farringdon Street
Glen Innes
Auckland
Ph. 09-5287522

Distance: 0.6 km
20 Hours Free: No
Type: Te Kohanga Reo
Authority: Community Based

Primary / Intermediate Schools

GLEN INNES SCHOOL

Eastview Road
Glen Innes
Auckland
Ph. 09 528 3507

Distance: 0.7 km
Decile: 1
Age Range: Contributing
Authority: State
Gender: Co-Educational
School Roll: 196
Zoning: No Zone

GLEN TAYLOR SCHOOL

172 West Tamaki Road
Glendowie
Auckland
Ph. 09 528 6325

Distance: 0.3 km
Decile: 1
Age Range: Full Primary
Authority: State
Gender: Co-Educational
School Roll: 269
Zoning: No Zone

GLENBRAE PRIMARY SCHOOL

Leybourne Circle
Glen Innes
Auckland
Ph. 09 528 5025

Distance: 1.0 km
Decile: 1
Age Range: Contributing
Authority: State
Gender: Co-Educational
School Roll: 139
Zoning: No Zone

ST HELIERS SCHOOL

126-160 St Heliers Bay Road
St Heliers
Auckland
Ph. 09 575 8311

Distance: 1.1 km
Decile: 10
Age Range: Full Primary
Authority: State
Gender: Co-Educational
School Roll: 534
Zoning: Out of Zone

ST IGNATIUS SCHOOL (ST HELIERS)

72 Speight Road
St Heliers
Auckland
Ph. 09 575 7081

Distance: 1.9 km
Decile: 10
Age Range: Contributing
Authority: State Integrated
Gender: Co-Educational
School Roll: 187
Zoning: In Zone

ST PIUS X SCHOOL (GLEN INNES)

103 Castledine Crescent
Glen Innes
Auckland
Ph. 09 528 7257

Distance: 0.6 km
Decile: 1
Age Range: Full Primary
Authority: State Integrated
Gender: Co-Educational
School Roll: 152
Zoning: No Zone

Secondary Schools

GLENDOWIE COLLEGE

Crossfield Road
Glendowie
Auckland
Ph. 09 575 9128

Distance: 0.9 km
Decile: 10
Age Range: Year 9-15
Authority: State
Gender: Co-Educational
School Roll: 949
Zoning: In Zone

SACRED HEART COLLEGE (AUCKLAND)

250 West Tamaki Road
Glen Innes
Auckland
Ph. 09 529 3660

Distance: 1.0 km
Decile: 8
Age Range: Year 7-15
Authority: State Integrated
Gender: Boys School
School Roll: 1080
Zoning: No Zone

SELWYN COLLEGE

Kohimarama Road
Kohimarama
Auckland
Ph. 09 521 9610

Distance: 2.0 km
Decile: 4
Age Range: Year 9-15
Authority: State
Gender: Co-Educational
School Roll: 966
Zoning: Out of Zone

TAMAKI COLLEGE

Elstree Avenue
Glen Innes
Auckland
Ph. 09 521 1104

Distance: 1.2 km
Decile: 1
Age Range: Year 9-15
Authority: State
Gender: Co-Educational
School Roll: 673
Zoning: No Zone

TE KKM O PUAU TE MOANANUI-A-KIWA

26 A Farrington Street
Glen Innes
Auckland
Ph. 09 528 0210

Distance: 0.6 km
Decile: 2
Age Range: Composite
Authority: State
Gender: Co-Educational
School Roll: 46
Zoning: No Zone

Tertiary

IT Training Limited

111 Apirana Ave
Ph. 09 528 8224

Distance: 0.9 km
Tertiary type: Private Training Estab

International College of Auckland Limite

185 Apirana Ave
Ph. 09 528 1599

Distance: 1.0 km
Tertiary type: Private Training Estab

Property Guru

By  CoreLogic

NZ Physical Training College

18 Pilkington Road
Ph. 09 570 5787

Distance: 3.3 km
Tertiary type: Private Training Estab

Pounamu Performing Arts

124 Felton Mathew Avenue
Ph. 09 521 0568

Distance: 1.3 km
Tertiary type: Private Training Estab

Trinity Methodist Theological College

202 St Johns Road
Ph. 09 521 2073

Distance: 1.8 km
Tertiary type: Private Training Estab

Explanation of Terms

Full Primary - Years 1 - 8

Contributing - Years 1 - 6

Intermediate - Years 7 - 8

Composite - Years 1 - 15

Restricted Composite - Years 7 - 10

Kura Teina Composite - Maori Schools from years 1 - 15

Kura Teina Primary - Maori Schools from years 1 - 8

Decile Rating - A school's decile indicates the extent to which the school draws its students from low socio-economic communities. Decile 1 schools are the 10% of schools with the highest proportion of students from low socio-economic communities, whereas decile 10 schools are the 10% of schools with the lowest proportion of these students. A school's decile does not indicate the overall socio-economic mix of the school.

Distance - The distance calculated is the point to point distance, walking and driving distances will normally be further.

20 Hours Free - If yes, this Early Childhood Centre offers 20 hours free childhood education. From 1 July 2007, three and four-year-olds enrolled in a teacher-led ECE service and some kohanga reo qualify for up to 20 hours of free early childhood education (ECE).

Currency of Data

CoreLogic Address Data: 11 November 2016

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8. AGENT PROFILE



John Howard

Residential Sales Consultant

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E john.howard@bayleys.co.nz
W www.bayleys.co.nz/stheliers

Hitting the ground running is an understatement for long-time Eastern Bays resident and passionate Waterfront man John Howard. In 22 years selling real estate in Auckland – John has seen it all, sold it all and lived to tell the tale.

Weathering the global financial crisis of 2008, it was his dedicated work ethic and consistently high standard of service which ensured his title as a top agent emerged unscathed. Facilitating 100's of property transactions, John's knowledge of Auckland property is that of an industry expert, having practical experience in a variety of fields - residential sales, commercial sales and leasing, land and development, reclud sales and asset recovery.

With real estate in his lineage, it's been a thrill for John watching the Auckland-city skyline change over the past ten years. As apartment living increases in popularity, John understands that property in the Eastern Bays is at a premium and that his clients require an exceptional level of service. Attracted to Bayleys by their excellent reputation and second-to-none marketing, John's move to the company is a long-awaited one, and we're thrilled to have an agent with such knowledge, experience and credentials on-board.

Benefitting from his extensive networks, and the repeat business which has impressed clients for years, John is heavily involved in community projects and is a member of the Saint Kentigern Old Collegians Committee, and organises the annual Saint Kentigern College Old Collegians Golf Day. Relentlessly determined in every aspect of his life, John has competed in over 20 triathlons and duathlons and sees this tenacity a vital contributor to his professional success. Yet, despite his business nous and fierce negotiation skills, he is a family man at heart – preferring to spend his down time with his two boys playing golf, tennis or anything in the water.

With experience, sensitivity and a glittering track-record – John Howard is the natural choice for your next property transaction.

Branch Manager, Bayleys St Heliers: Jack Brabant

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